

AGENDA

**THE AITKIN COUNTY PLANNING COMMISSION WILL ASSEMBLE FOR A HEARING ON
MAY 18, 2026 AT 4:00 P.M.
IN THE BOARD ROOM OF THE AITKIN COUNTY GOVERNMENT CENTER (THIRD FLOOR)
307 SECOND STREET NW, AITKIN, MINNESOTA 56431
THE FOLLOWING ITEMS WILL BE REVIEWED:**

- 1. Call the meeting to order.**
- 2. Roll call.**
- 3. Approval of Agenda.**

NEW BUSINESS:

- 4. Jason Kadelbach, 48663 216th Place, McGregor, MN 55760** Requesting approval to amend a previously approved Conditional Use Permit #49717C for the allowance of a residential dwelling and a land surveying office building with living quarters, in an area zoned Commercial. The proposed amendment includes revisions to the previously approved site plan, which includes changes to the location and size of the buildings and an additional garage and deck. PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR IN 480899, SECTION NINETEEN (19), TOWNSHIP FORTY-EIGHT (48), RANGE TWENTY-THREE (23), Aitkin County, Minnesota.
APP# 2026-000142
- 5. Jeffrey Popp, 7159 95th St NE, Foley, MN 56329,** Requesting renewal of Interim Use Permit #458661 to operate a Vacation/Short-Term Rental in an area zoned Shoreland (Flowage Lake). LOT 4 BLK 1 THE REFUGE, SECTION TWENTY-FOUR (24), TOWNSHIP FORTY-NINE (49), RANGE TWENTY-FOUR (24), Aitkin County, Minnesota.
APP# 2026-000098
- 6. Mike & Shannon Williams, 45071 Cherry St, Aitkin, MN 56431,** Requesting a Conditional Use Permit to operate a real estate office, boutique retail space, commercial storage garage, food truck operations, and vendor markets, in an area zoned Shoreland (Mille Lacs). PART OF GOVT LOT 1 LYING SW OF CSAH 37 AS IN DOC# 466439, SECTION FIVE (5), TOWNSHIP FORTY-FOUR (44), RANGE TWENTY-SEVEN (27), Aitkin County, Minnesota.
APP# 2026-000086
- 7. Approval of Minutes,** APRIL 20, 2026 Planning Commission Meeting.
- 8. Adjourn.**

For more information, contact Planning & Zoning at 218-927-7342 or aitkinpz@aitkincountymn.gov

NOTICE OF HEARING

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MAY 18, 2026 AT 4:00 P.M.
IN THE BOARD ROOM OF THE AITKIN COUNTY GOVERNMENT CENTER (THIRD FLOOR)
307 SECOND STREET NW, AITKIN, MINNESOTA 56431
THE FOLLOWING APPLICATIONS WILL BE REVIEWED:

Jason Kadelbach, 48663 216th Place, McGregor, MN 55760 Requesting approval to amend an approved Conditional Use Permit #49717C for the allowance of a residential dwelling and a land surveying office building with living quarters, in an area zoned Commercial. The proposed amendment includes revisions to the pr PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR IN 480899, SECTION NINETEEN (19), TOWNSHIP FORTY-EIGHT (48), RANGE TWENTY-THREE (23), Aitkin County, Minnesota.

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APP # 2026-000086

Information is available at www.co.aitkin.mn.us/departments/env/

Please submit written comments, including your name and mailing address, to aitkinpz@aitkincountymn.gov.
Contact Environmental Services/Planning & Zoning with any questions.

AITKIN COUNTY ZONING



Conditional Use Permit (general) App. # 2026-000142, UID # 222417
App. Status: Pending Review

Aitkin County Planning & Zoning / Environmental Services
307 Second St. NW Room 219, Aitkin, MN 56431
Email: aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

Contact Information

Are you the property owner?	<u>Yes</u>
Applicant Contact Info:	Name Jason Kadelbach Phone: [REDACTED] Email Address: [REDACTED] Mailing Address 48663 216th Place McGregor MN 55760
Have you had a pre-application meeting with the Planning & Zoning Department?	<u>Yes</u>

Project Location

Property:	Property Location								Property Attributes	
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	22-0-028802		MCGREGOR TWP	KADELBACH, JASON R	KADELBACH, JASON R	PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR IN 480899		S:19 T:48 R:23		
Driving directions from Aitkin to Property:	2 miles North of McGregor Just East of 42868 Highway 65, turn in Driveway of that address open the cattle fence and drive way back you will go by a big shed on the South side of the driveway.									

Brief Narrative

Brief Narrative:	We are asking to amend the previously approved CUP (previous paperwork attached) we are slightly changing the location and sq.ft. of each structure approved see (New Sketch for details) we are also showing a potential future 24x36 North of the Proposed North House and we show a 12x56 deck off the Office Building. Building Plans and sewer designs will also be attached.
Provide a detailed explanation on why and how this proposal is meeting the Comprehensive Land Use Plan for Aitkin County.:	See attached Previously approved CUP documents
How will this proposal be compatible with existing land uses?	See attached Previously approved CUP documents
Is this proposal meeting the Findings of Fact?	<u>Yes</u>

Detailed Operational Plan

Detailed Operational Plan:	See attached Previously approved CUP documents
If you have already prepared a detailed operational plan, please attach it below:	File 1: Previous_CUP_paper_work.pdf

A Scaled Drawing

Attach Scaled Drawing:	File 1: New_Sketch.pdf
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Septic Compliance

Is there an existing septic system on the property?	<u>No</u>
If you answered Yes, please attach one of the following: - A current compliance inspection on the existing septic system. - A design for a new/replacement septic system.	<div data-bbox="487 337 1484 435" style="border: 1px dashed black; padding: 5px;"><p>File 1: Kadelbach_3_bdrm_design.pdf</p><p>File 2: Kadelbach_5_bdrm_design.pdf</p></div>

Property Deed

Please attach the property deed(s):	<div data-bbox="487 688 1484 743" style="border: 1px dashed black; padding: 5px;"><p>File 1: 480899-p0001_-_p0004.pdf</p></div>
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Additional Info

Additional Information (if necessary):	See House plans also attached
Attachments (if necessary):	<div data-bbox="487 1037 1484 1135" style="border: 1px dashed black; padding: 5px;"><p>File 1: 22X34_Set_6_sheets.pdf</p><p>File 2: 26004-KADELBACH-SOG_2_STORY_REVIEW_1-8-26.pdf</p></div>

Terms

Conditional Use Terms & Conditions

The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.

Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.

The landowner or authorized agent may make application for a zoning permit agreeing to do such work in accordance with all Aitkin County Ordinances. The landowner or authorized agent agrees that the application, site plan, and all other attachments submitted herewith are true and accurate and shall become a part of the permit. The landowner or authorized agent agrees that, in making application for a zoning permit, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County, State, or Federal Ordinances or Statutes.

IT IS THE APPLICANTS SOLE RESPONSIBILITY TO CONTACT OTHER LOCAL, COUNTY, STATE, OR FEDERAL AGENGIES TO ENSURE THE APPLICANT HAS COMPLIED WITH ALL RELEVANT ORDINANCES OR STATUTES.

All corners of the proposed structure(s) need to be staked with visible flags, ribbon, or lathes prior to onsite inspection by Aitkin County.

Conditional Use Permit fees are non-refundable if denied or approved.

I acknowledge that by submitting this application, the application and its attachments are public information.

Invoice #71316 (04/10/2026) Expected Payment Method: Pay Online - Card or ECheck

Charge	Cost	Quantity	Total
Conditional Use Application Fee added 04/10/2026 9 52 AM \$650 Flat Fee	\$650.00	x 1	\$650.00
Recording Fee added 04/10/2026 9 52 AM \$46 Flat Fee	\$46.00	x 1	\$46.00
Grand Total			
			Total
			\$696.00
			Payment 04/10/2026
			\$696.00
			Due
			\$0.00

Conditions of Permit

None

<p>Results (Go to top)</p> <p>Signature accepted</p>

Approvals

Approval	Signature
Applicant	<p>Jason R. Kadelbach - 04/10/2026 9:53 AM</p> <p>42ed2e5d661d87a1cb61b6795d21effb</p> <p>35e1fd6152dbe6fe64a14756d8c52c7d</p>
#1 Admin	<p>Shannon Wiebusch - 04/14/2026 4:37 PM</p> <p>b83c090c765003133d7f429c7f564a5b</p> <p>bbec56dd1ae82ddf72a4a2d11b0af890</p>
#2 Planning Commission	

Print View

CRV Filed
No Delinquent Taxes and Transfer Entered
Kirk Peysar, County Auditor
State Deed Tax Paid
Lori Grams, County Treasurer

Doc No: **A480899**
Certified Filed and/or Recorded on
2/27/2024 10:58 AM

Office of the County Recorder
Aitkin County, Minnesota
Tara Snyder, County Recorder

Package: **85853** Mick

WAD 1/4

REC FEE	\$46.00
SDT	\$363.00
eCRV #	1624226

This cover sheet was added by the Aitkin County Recorder's Office to allow space for the recording information of this document. It is not intended to alter the document/certified copy.

This cover sheet is now a permanent part of the recorded document.

(Top 3 inches reserved for recording data)

WARRANTY DEED
Business Entity to Individual(s)

Minnesota Uniform Conveyancing Blanks
Form 10.1.7 (2016)

eCRV number: 1624226

DEED TAX DUE: \$ 363.00

DATE: February 21, 2024
(month/day/year)

FOR VALUABLE CONSIDERATION, Savanna Farms, LLC
(insert name of Grantor)

a limited liability company under the laws of Minnesota ("Grantor"),
hereby conveys and warrants to Jason R. Kadelbach
(insert name of each Grantee) ("Grantee"), as

(Check only one box.) tenants in common, (If more than one Grantee is named above and either no box is checked or both boxes are checked, this conveyance is made to the named Grantees as tenants in common.)
 joint tenants,

real property in Aitkin County, Minnesota, legally described as follows:

→ see attached Exhibit A for legal description

Check here if all or part of the described real property is Registered (Torrens)

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:
Covenants, restrictions, reservations, and easements of record, if any.

Check applicable box:

- The Seller certifies that the Seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: _____.)
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor

Savanna Farms, LLC

(name of Grantor)

By: Wayne Alden mlh
(signature) Wayne Alden

Its: _____
(type of authority) Member

By: _____
(signature)

Its: _____
(type of authority)

State of Minnesota, County of Aitkin

This instrument was acknowledged before me on February 20, 2024, by Wayne Alden
(month/day/year) (name of authorized signer)

as Member
(type of authority)

and by _____
(name of authorized signer)

as _____ of Savanna Farms, LLC, a Minnesota limited liability company
(type of authority) (name of Grantor)

(Stamp)



Annette M. Wilkie
(signature of notarial officer)

Title (and Rank): _____

My commission expires: _____
(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
(insert name and address)

McGregor Title
PO Box 309
McGregor, MN 55760

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:
(insert legal name and residential or business address of Grantee)

Jason R. Kadelbach
8962 Hwy. 37
Iron, MN 55751

EXHIBIT "A"

→ That part of the North 850.00 feet of the West 2007.00 feet of the North Half of the Northwest Quarter of Section 19, Township 48, Range 23 lying east of the following described line: Commencing at the Northwest corner of said Northwest Quarter, thence on an assumed bearing of North 89 degrees 45 minutes 20 seconds East along the North line of said Northwest Quarter a distance of 932.00 feet to the Point of Beginning of the line herein described; thence South 13 degrees 53 minutes 54 seconds East, 874.73 feet to the South line of said North 850.00 feet and there terminating. Containing 18.96 acres, more or less.

Aitkin County, Minnesota
(Abstract)

FIELD EVALUATION SHEET

PRELIMINARY EVALUATION DATE 10/25/25, FIELD EVALUATION DATE 2/9/26
PROPERTY OWNER: Jason K. Delbach PHONE _____
ADDRESS: 48663 216th Pl CITY, STATE, ZIP: Madison MN 55760
LEGAL DESCRIPTION: _____
PIN# 22-0-025802 SEC ___ T ___ R ___ TWP NAME _____
FIRE# _____ LAKE/RIVER _____ LAKE CLASS _____ OHWL _____ FT.

DESCRIPTION OF SOIL TREATMENT AREAS

	AREA #1	AREA #2	REFERENCE BM ELEV. <u>100</u> FT.
DISTURBED AREAS	YES ___ NO <u>X</u>	YES ___ NO <u>X</u>	REFERENCE BM DESCRIPTION _____
COMPACTED AREAS	YES ___ NO <u>X</u>	YES ___ NO <u>X</u>	<u>Small white oak tree</u>
FLOODING	YES ___ NO <u>X</u>	YES ___ NO <u>X</u>	<u>nail with pink flagging</u>
RUN ON POTENTIAL	YES ___ NO <u>X</u>	YES ___ NO <u>X</u>	_____
SLOPE %	<u>2</u>	<u>0</u>	_____
DIRECTION OF SLOPE	<u>southwest</u>	_____	_____
LANDSCAPE POSITION	_____	_____	_____
VEGETATION TYPES	<u>grass / small trees</u>		_____

DEPTH TO STANDING WATER OR MOTTLED SOIL: BORING# 1 27", 1A 20", 2 17", 2A 18"

BOTTOM ELEVATION--FIRST TRENCH OR BOTTOM OF ROCK BED: #1 97.42 FT., #2 _____ FT.

SOIL SIZING FACTOR: SITE #1 .78, SITE #2 .78

CONSTRUCTION RELATED ISSUES: Tall Grass to be mowed before starting

LIC# L552 SITE EVALUATOR SIGNATURE: _____

SITE EVALUATOR NAME: Bridley Eddy TELEPHONE# 218-820-2378

LUG REVIEW _____ DATE 3/5/26

Comments: B Bedrock

SOIL BORING LOGS ON REVERSE SIDE

SOILS CHARTS FOR BOTH PROPOSED AND ALTERNATE SITES

1 (PROPOSED) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-6"	Topsoil	
6"-27"	loamy sand 0% Rock	10YR 5/8
27-38"	loamy sand 0% Rock Sandy loam Mottled	10YR 5/8 7.5YR 5/6 7.5YR 5/1

2 (PROPOSED) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-6"	Topsoil	
6-17"	loamy sand 0% Rock	10YR 5/6
17"-24"	loamy sand 0% Rock Sandy loam mottled	7.5YR 5/6 7.5YR 5/1

1 (ALTERNATE) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-6"	Topsoil	
6-20"	Sandy loam 0% Rock	10YR 7/3
20-30"	Sandy clay loam Mottled 0% Rock	7.5YR 5/1

2 (ALTERNATE) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-8"	Topsoil	
8-18"	Sandy loam 0% Rock	10YR 7/3
18-27"	Sandy clay loam Mottled 0% Rock	7.5YR 5/1

ADDITIONAL SOIL BORINGS MAY BE REQUIRED

Mound Design - Aitkin county

Property Owner: Jason Kadelbach

Date: 3/8/2026

Site Address: N/A

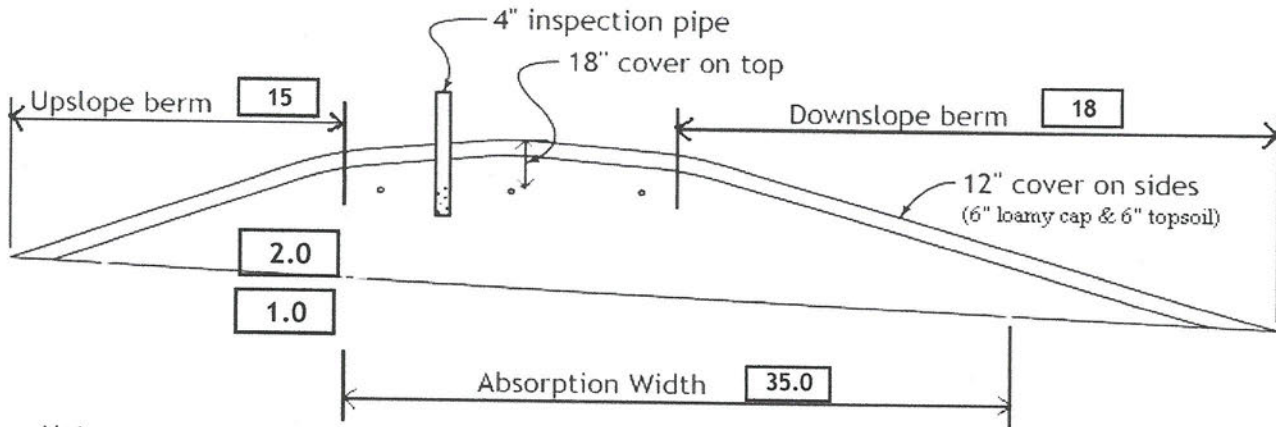
PID: 22-0-028802

Comments: _____

Instructions: = enter data = adjust if desired = computer calculated - DO NOT CHANGE!

- 1) bedroom Type Residential System
- 2) GPD design flow
- 3) Garbage disposal or pumped to septic
- 4) Gal Septic tank (code minimum) Gal Septic tank (design size / LUG req'd)
Tank options: none
- 5) GPD/ft² mound sand loading rate contour loading rate of req's a min ft. long rockbed
- 6) ft rockbed width ft rockbed length
- 7) ft lateral spacing ft perforation spacing (maximum of 3 for both)
 manifold connection
- 8) laterals feet long perfs / lateral perfs total
(1/2 a perf means the first perf starts at the middle feed manifold)
- 9) inch perfs at feet residual head gives gpm flow rate per perforation
for this perf size & spacing, & pipe size on line 12, max perfs/lateral = , line #8 must be less -->
- 10) doses per day (4 minimum)
- 11) gallons per dose (treatment volume)
- 12) inch diameter laterals must be used to meet "4x pipe volume" requirement 2.00 5x
- 13) feet of inch supply line leads to gallons of drainback volume 2.00 3x
(Tip: "top feed" manifold to control the drainback)
- 14) gallons TOTAL pump out volume (treatment + drainback)
- 15) feet vertical lift from pump to mound laterals, leads to a:
- 16) GPM @ feet of head, Pump requirement (note: >50gpm may require an extra 3-6' of head)
- 17) gal Dose tank (code minimum) gal Dose tank (design size / LUG req'd) at gpi
leads to a
- 18) inch swing on Demand float, or timed dosing of min ON (confirm pump rate with drawdown
(this delivers Average flow, =70% of Peak design flow) hrs OFF test and adjust as necessary)
- 19) inches from bottom of tank to "Pump OFF" float
- 20) inches from bottom of tank to "Pump ON" float, or inches to "Timer ON" float if time dosed
- 21) inches from bottom of tank to "Hi Level" float, or inches to "Hi Level" float if time dosed
- 22) gallons reserve capacity (after High Level Alarm is activated)

- 23) gpd/ft^2 Absorption area Soil Loading Rate, which gives a mound ratio of (minimum)
 (this must match the soil boring log) desired mound ratio
- 24) percent site slope (0-20% range) (% downslope site slope, if different than upslope)
- 25) inches, or ft. to Redox or other limiting condition (need at least 12" to be a Type I)
 Treatment zone contains inches of 0% soil credit, and inches of 50% soil credit. Giving a:
- 26) inch, or ft. Sand Lift Mound **CRITICAL FOR FUTURE CERTIFICATIONS!!!**
- 27) ft. base absorption width (with sand beyond rockbed as follows):
 greater of: absorption width OR sand slope
- 28) ft. upslope and sideslope sand upslope
 ft. Downslope sand down slope
- Individual slope ratios give BERM widths (topsoil beyond rockbed) of:
- 29) upslope ratio ft. upslope berm
- 30) sideslope ft. sideslope berms
- 31) downslope ft. downslope berm
- 32) Overall Dimensions: ft. wide by ft. long Rock bed
 ft. wide by ft. long Mound footprint



Note:
 For 0 to 1% slopes, *Absorption Width* is measured from the *Bed* equally in both directions.
 For slopes >1%, *Absorption Width* is measured downhill from the upslope edge of the *Bed*.

- 33) Rock Bed: ft. by ft. by inches under pipe, plus 20% gives yd^3 or $*1.4=$ ton
- 34) Mound Sand: (note: volume is based on 3:1/4:1 slope from top of rockbed, Exchange sand for loamy cap if desired)
 up + downslope + ends + under rock = yd^3 or $*1.4=$ ton
 plus 20%
- 35) Loamy Cap: ft. by ft. 6" deep, plus 20% gives yd^3 or $*1.4=$ ton
- 36) Topsoil: ft. by ft. 6" deep, plus 20% gives yd^3 or $*1.4=$ ton

I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.

John Alton
 Designer Signature

Ekelund Excavating
 Company

L552
 License#

3/8/2026
 Date

Installer Summary

1000 gallon Septic tank (minimum)

Tank options: none

500 gallon Dose tank (minimum)

at 12.69 gpi

21 GPM @ 17 ft. of head, Pump required

9.3 inch swing on Demand float which translates to roughly 5.7 inches of float tether length
if time dosing is required --> 5.6 minutes ON time & 9 hours OFF time

21 inches from bottom of tank to "pump ON" float, or 12 inches to "timer ON" float

24 inches from bottom of tank to "Hi Level Alarm" or 34 inches to "Hi level alarm" if time dosed

45 ft. of 1.5 inch supply line with end feed manifold connection

(Tip: "top feed" manifold to control drainback)

24 inch, or 2.0 ft. Sand Lift Mound

10.0 ft. wide by 37.5 ft. long Rock bed

3 laterals 1.50 inch diameter 35.5 ft. long 3.0 ft. lateral spacing

7/32 inch perfs 3.0 ft. perforation spacing

No Effluent filter & alarm

3 clean out & valve box assemblies

35.0 ft. Total sand ABSORPTION width (minimum)

11.1 ft. upslope and sideslope (sand beyond rockbed, minimum)

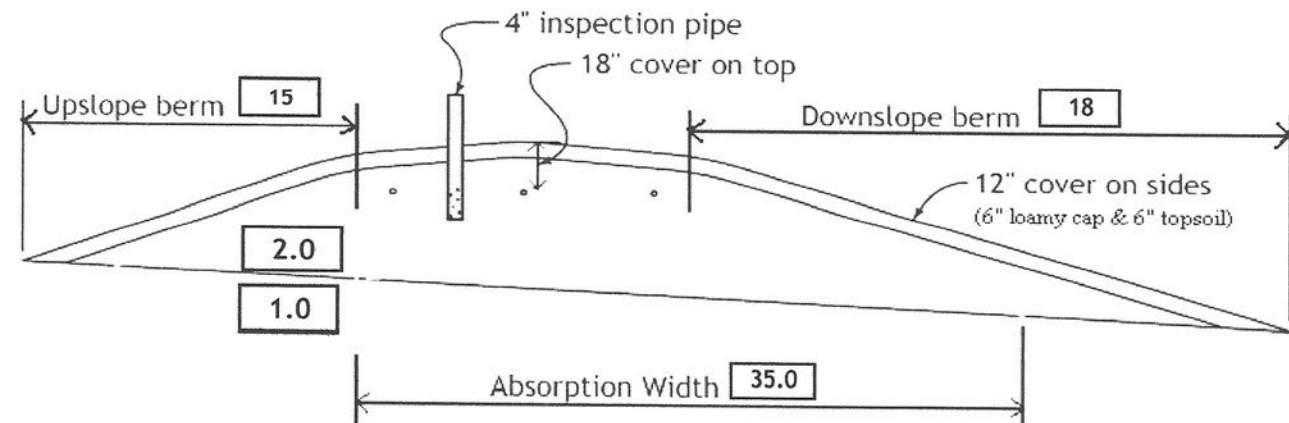
13.9 ft. Downslope

Specific slope ratios give BERM widths (topsoil beyond rockbed) of:

4:1 upslope ratio 15 ft. upslope berm

4:1 sideslope 17 ft. sideslope berms

4:1 downslope 18 ft. downslope berm



Note:

For 0 to 1% slopes, *Absorption Width* is measured from the *Bed* equally in both directions.

For slopes >1%, *Absorption Width* is measured downhill from the upslope edge of the *Bed*.

Rock Bed: 13.0 yd³ or *1.4= 18 ton

Mound Sand: 163 yd³ or *1.4= 228 ton

Loamy Cap: 59 yd³ or *1.4= 83 ton

Topsoil: 69 yd³ or *1.4= 97 ton

6 inches under pipe

calculation based on 3:1/4:1 slope from top of rockbed

6" deep

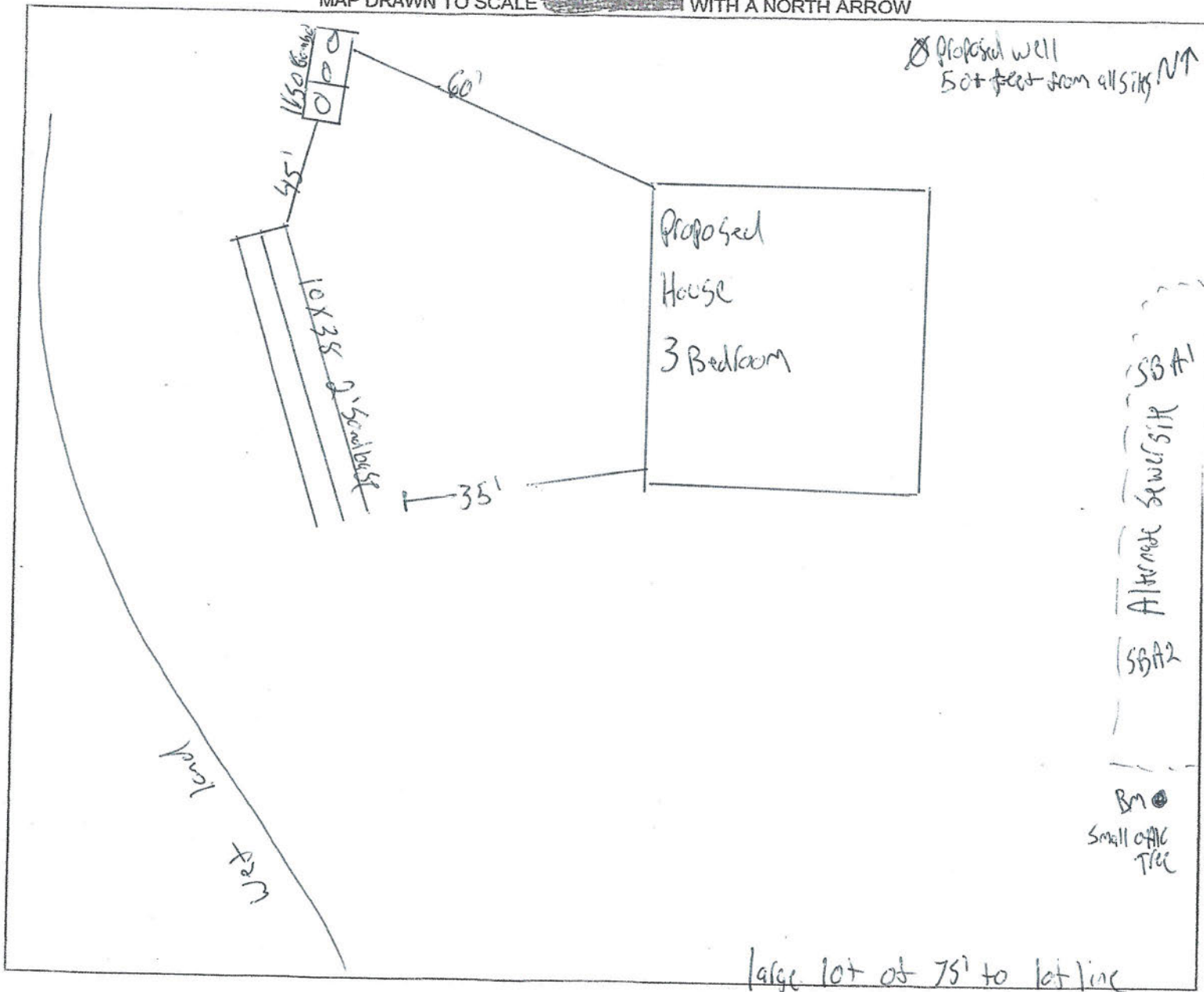
6" deep

SKETCH SHEET

CLIENT: Kadelbach

DATE: 3/8/26

MAP DRAWN TO SCALE WITH A NORTH ARROW



CHECK OFF LIST--HAVE ALL OF THE FOLLOWING BEEN DRAWN ON THE MAP??

- SHOW EXISTING OR PROPOSED
- WATER WELLS WITHIN 100 FT OF TREATMENT AREAS
 - PRESSURE WATER LINES WITHIN 10 FT OF TREATMENT AREAS
 - STRUCTURES
 - ALL SOIL TREATMENT AREAS
 - HORIZONTAL AND VERTICAL REFERENCE
 - POINT OF SOIL BORINGS
 - LOT EASEMENTS
 - DISTURBED/ COMPACTED AREAS
 - SITE PROTECTION--LATHE AND RIBBON EVERY 15 FT
 - ACCESS ROUTE FOR TANK MAINTENANCE

- REQUIRED SETBACKS
- STRUCTURES
 - OHWL
 - LOT IMPROVEMENTS
 - ALL ISTS COMPONENTS
 - DIRECTION OF SLOPE
 - ALL LOT DIMENSIONS
 - PROPERTY LINES

COMMENTS:

DESIGNER SIGNATURE [Signature]
 LICENSE# 6532

INDICATE ELEVATIONS

BENCHMARK <u>Small oak tree</u>	<u>100'</u>
ELEVATION OF SEWER LINE @ HOUSE	<u>NA</u>
ELEVATION @ TANK INLET	<u>92.83</u>
ELEVATION @ BOTTOM OF ROCK LAYER	<u>97.42</u>
ELEVATION @ BOTTOM OF BORING OR RESTRICTIVE LAYER	<u>93.58</u>
ELEVATION OF PUMP	<u>89</u>
ELEVATION OF DISTRIBUTION DEVICE	<u>98.17</u>

DATE 3/8/26

Subsurface Sewage Treatment System Management Plan

Property Owner: _____ Phone: _____ Date: _____
Mailing Address: _____ City: _____ Zip: _____
Site Address: _____ City: _____ Zip: _____

This management plan will identify the operation and maintenance activities necessary to ensure long-term performance of your septic system. Some of these activities must be performed by you, the homeowner. Other tasks must be performed by a licensed septic service provider or maintenance provider.

System Designer: Recommends SSTS check every 24 months.
Local Government: Recommends SSTS check every _____ months.
State Requirement: Requires SSTS check every 36 months.
(State requirements are based on MN Rules Chapter 7080.2450, Subp. 2 & 3)

My System needs to be checked every 24 months.

Homeowner Management Tasks:

- Leaks* – Check (look, listen) for leaks in toilets and dripping faucets. Repair leaks promptly.
- Surfacing sewage* – Regularly check for wet or spongy soil around your soil treatment area.
- Effluent filter* – *Inspect and clean twice a year or more.*
- Alarms* – Alarm signals when there is a problem. Contact a service or maintenance provider any time an alarm signals.
- Event counter or water meter* – Record your water use.

-recommend meter readings be conducted (circle one: DAILY WEEKLY MONTHLY N/A)

Licensed septic service provider or maintenance provider (Check all that apply):

- Check to make sure tank is not leaking
- Check and clean the in-tank effluent filter (if exists)
- Check the sludge/scum layer levels in all septic tanks
- Recommend if tank should be pumped
- Check inlet and outlet baffles
- Check the drainfield effluent levels in the rock layer
- Check the pump and alarm system functions
- Check wiring for corrosion and function
- Check dissolved oxygen and effluent temperature in tank
- Provide homeowner with list of results and any action to be taken
- Flush and clean laterals if cleanouts exist

"I understand it is my responsibility to properly operate and maintain the sewage treatment system on this property, utilizing the Management Plan. If requirements in the Management Plan are not met, I will promptly notify the permitting authority and take necessary corrective actions. If I have a new system, I agree to adequately protect the reserve area for future use as a soil treatment system."

Property Owner Signature: _____ Date: 3/18/26
Designer Signature: _____ Date: 3/8/26

See Reverse Side for Management Log

Aitkin County, Minnesota

B39A—Meehan loamy sand, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 2x14l
Landscape: Outwash plains
Elevation: 590 to 2,030 feet
Mean annual precipitation: 23 to 33 inches
Mean annual air temperature: 36 to 48 degrees F
Frost-free period: 90 to 170 days
Farmland classification: Not prime farmland

Map Unit Composition

Meehan and similar soils: 84 percent
Minor components: 16 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Meehan

Setting

Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy outwash

Typical profile

A - 0 to 7 inches: loamy sand
Bw - 7 to 28 inches: sand
C - 28 to 79 inches: sand

Properties and qualities

Slope: 0 to 3 percent
Surface area covered with cobbles, stones or boulders: 0.0 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): High to very high (2.00 to 20.00 in/hr)
Depth to water table: About 12 to 28 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water supply, 0 to 60 inches: Low (about 4.7 inches)

Interpretive groups

Land capability classification (irrigated): 4e
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: A/D

Ecological site: F088XY011MN - Moist Sandy Mixed Forest
Forage suitability group: Level Swale, Low AWC, Acid
(G088XN007MN)
Other vegetative classification: Level Swale, Low AWC, Acid
(G088XN007MN)
Hydric soil rating: No

Minor Components

Roscommon

Percent of map unit: 6 percent
Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Dip
Down-slope shape: Concave
Across-slope shape: Linear
Ecological site: F088XY008MN - Wet Mixed Forest
Other vegetative classification: Level Swale, Low AWC, Neutral
(G088XN003MN)
Hydric soil rating: Yes

Wurtsmith

Percent of map unit: 4 percent
Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Rise
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: F088XY013MN - Dry Sandy Upland Coniferous
Forest
Other vegetative classification: Sloping Upland, Low AWC, Acid
(G088XN008MN)
Hydric soil rating: No

Menahga

Percent of map unit: 2 percent
Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Rise
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: F088XY012MN - Very Dry Sandy Upland
Coniferous Forest
Other vegetative classification: Sandy (G088XN022MN)
Hydric soil rating: No

Leafriver, frequently ponded

Percent of map unit: 2 percent
Landscape: Outwash plains
Landform: Depressions
Landform position (three-dimensional): Dip
Down-slope shape: Concave
Across-slope shape: Concave

Ecological site: F088XY007MN - Wet Depressional Forest
Other vegetative classification: Not Suited (G088XN024MN)
Hydric soil rating: Yes

Karlstad

Percent of map unit: 2 percent
Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Rise
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: F088XY013MN - Dry Sandy Upland Coniferous Forest
Other vegetative classification: Sloping Upland, Low AWC, Neutral (G088XN004MN)
Hydric soil rating: No

Data Source Information

Soil Survey Area: Aitkin County, Minnesota
Survey Area Data: Version 26, Sep 10, 2025

FIELD EVALUATION SHEET

PRELIMINARY EVALUATION DATE 10/25/25, FIELD EVALUATION DATE 2/9/26
PROPERTY OWNER: Jason Kadelbach PHONE _____
ADDRESS: 48663 216th PL CITY, STATE, ZIP: McGregor MN 55760
LEGAL DESCRIPTION: _____
PIN# 22-0-028802 SEC _____ T _____ R _____ TWP NAME _____
FIRE# _____ LAKE/RIVER _____ LAKE CLASS _____ OHWL _____ FT.

DESCRIPTION OF SOIL TREATMENT AREAS

	AREA #1	AREA #2	REFERENCE BM ELEV. <u>100</u> FT.
DISTURBED AREAS	YES _____ NO <u>X</u>	YES _____ NO <u>X</u>	REFERENCE BM DESCRIPTION
COMPACTED AREAS	YES _____ NO <u>X</u>	YES _____ NO <u>X</u>	<u>large red oak tree</u>
FLOODING	YES _____ NO <u>X</u>	YES _____ NO <u>X</u>	<u>nail with pink flagging</u>
RUN ON POTENTIAL	YES _____ NO <u>X</u>	YES _____ NO <u>X</u>	_____
SLOPE %	<u>0</u>	_____	_____
DIRECTION OF SLOPE	_____	_____	_____
LANDSCAPE POSITION	_____	_____	_____
VEGETATION TYPES	<u>mature trees / open grass</u>		_____

DEPTH TO STANDING WATER OR MOTTLED SOIL: BORING# 1 25", 1A 16", 2 20", 2A 17"

BOTTOM ELEVATION--FIRST TRENCH OR BOTTOM OF ROCK BED: #1 99.75 FT., #2 _____ FT.

SOIL SIZING FACTOR: SITE #1 .78, SITE #2 .78

CONSTRUCTION RELATED ISSUES: MUST be dry for tree removal

LIC# L552 SITE EVALUATOR SIGNATURE: [Signature]

SITE EVALUATOR NAME: Bridley Eddy TELEPHONE# 218-820-2378

LUG REVIEW _____ DATE 3/6/26

Comments: large lot with plans for multiple buildings
5 Dedjeem

SOIL BORING LOGS ON REVERSE SIDE

SOILS CHARTS FOR BOTH PROPOSED AND ALTERNATE SITES

1 (PROPOSED) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-5"	Topsoil	
5-25"	Sandy loam 0% Rock	10YR 5/6
25-30"	Sandy loam 0% Rock	Faint mottles 10YR 5/6 10YR 6/6 10YR 7/2

2 (PROPOSED) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-8"	Topsoil	
8"-20"	Sandy loam 0% Rock	10YR 5/6
20-27"	Sandy loam mottled 0% Rock	10YR 5/6 10YR 6/6 10YR 7/2

1 (ALTERNATE) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-6"	Topsoil	
6-16"	Sandy loam 0% Rock	10YR 7/6
16-20"	mottled loamy sand 0% Rock	10YR 7/6 10YR 6/5 10YR 7/2

2 (ALTERNATE) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-6"	Topsoil	
6-17"	Sandy loam 0% Rock	10YR 5/6
17-24"	mottled loamy sand 0% Rock	10YR 7/6 10YR 6/5 10YR 7/2

ADDITIONAL SOIL BORINGS MAY BE REQUIRED

Mound Design - Aitkin county

Property Owner: Jason Kadelbach Date: 3/8/2026
 Site Address: N/A PID: 22-0-028802
 Comments: _____

Instructions: = enter data = adjust if desired = computer calculated - DO NOT CHANGE!

- 1) bedroom Type Residential System
- 2) GPD design flow
- 3) Garbage disposal or pumped to septic
- 4) Gal Septic tank (code minimum) Gal Septic tank (design size / LUG req'd)
 Tank options: none
- 5) GPD/ft² mound sand loading rate contour loading rate of req's a min ft. long rockbed
- 6) ft rockbed width ft rockbed length
- 7) ft lateral spacing ft perforation spacing (maximum of 3 for both)
 manifold connection
- 8) laterals feet long perfs / lateral perfs total
 (1/2 a perf means the first perf starts at the middle feed manifold)
- 9) inch perfs at feet residual head gives gpm flow rate per perforation
 for this perf size & spacing, & pipe size on line 12, max perfs/lateral = , line #8 must be less -->
- 10) doses per day (4 minimum)
- 11) gallons per dose (treatment volume) 2.00 5x
- 12) inch diameter laterals must be used to meet "4x pipe volume" requirement 2.00 3x
- 13) feet of inch supply line leads to gallons of drainback volume
 (Tip: "top feed" manifold to control the drainback)
- 14) gallons TOTAL pump out volume (treatment + drainback)
- 15) feet vertical lift from pump to mound laterals, leads to a:
- 16) GPM @ feet of head, Pump requirement (note: >50gpm may require an extra 3-6' of head)
- 17) gal Dose tank (code minimum) gal Dose tank (design size / LUG req'd) at gpi
 leads to a
- 18) inch swing on Demand float, or timed dosing of min ON (confirm pump rate with drawdown
 (this delivers Average flow, =70% of Peak design flow) hrs OFF test and adjust as necessary)
- 19) inches from bottom of tank to "Pump OFF" float
- 20) inches from bottom of tank to "Pump ON" float, or inches to "Timer ON" float if time dosed
- 21) inches from bottom of tank to "Hi Level" float, or inches to "Hi Level" float if time dosed
- 22) gallons reserve capacity (after High Level Alarm is activated)

23) gpd/ft^2 Absorption area Soil Loading Rate, which gives a mound ratio of (minimum)
 (this must match the soil boring log) desired mound ratio

24) percent site slope (0-20% range) (% downslope site slope, if different than upslope)

25) inches, or ft. to Redox or other limiting condition (need at least 12" to be a Type I)

Treatment zone contains inches of 0% soil credit, and inches of 50% soil credit. Giving a:

26) inch, or ft. Sand Lift Mound **CRITICAL FOR FUTURE CERTIFICATIONS!!!**

27) ft. base absorption width (with sand beyond rockbed as follows):

greater of: absorption width OR sand slope

28) ft. upslope and sideslope sand upslope

ft. Downslope sand down slope

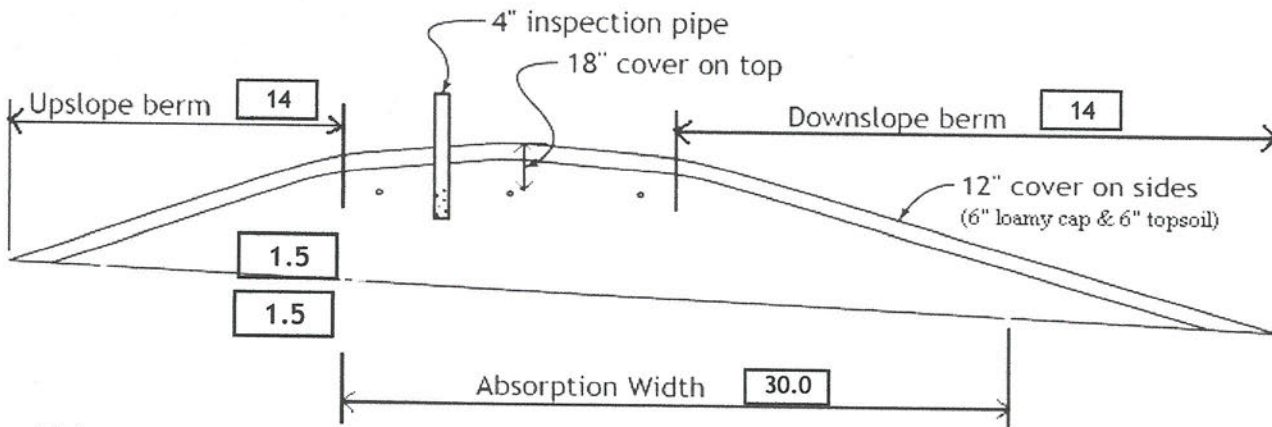
Individual slope ratios give BERM widths (topsoil beyond rockbed) of:

29) upslope ratio ft. upslope berm

30) sideslope ft. sideslope berms

31) downslope ft. downslope berm

32) Overall Dimensions: ft. wide by ft. long Rock bed
 ft. wide by ft. long Mound footprint



Note:

For 0 to 1% slopes, *Absorption Width* is measured from the *Bed* equally in both directions.
 For slopes >1%, *Absorption Width* is measured downhill from the upslope edge of the *Bed*.

33) Rock Bed: ft. by ft. by inches under pipe, plus 20% gives yd^3 or $*1.4=$ ton

34) Mound Sand: (note: volume is based on 3:1/4:1 slope from top of rockbed, Exchange sand for loamy cap if desired)
 up + downslope + ends + under rock = yd^3 or $*1.4=$ ton
 plus 20%

35) Loamy Cap: ft. by ft. 6" deep, plus 20% gives yd^3 or $*1.4=$ ton

36) Topsoil: ft. by ft. 6" deep, plus 20% gives yd^3 or $*1.4=$ ton

I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.

Designer Signature

Ekelund Excavating
 Company

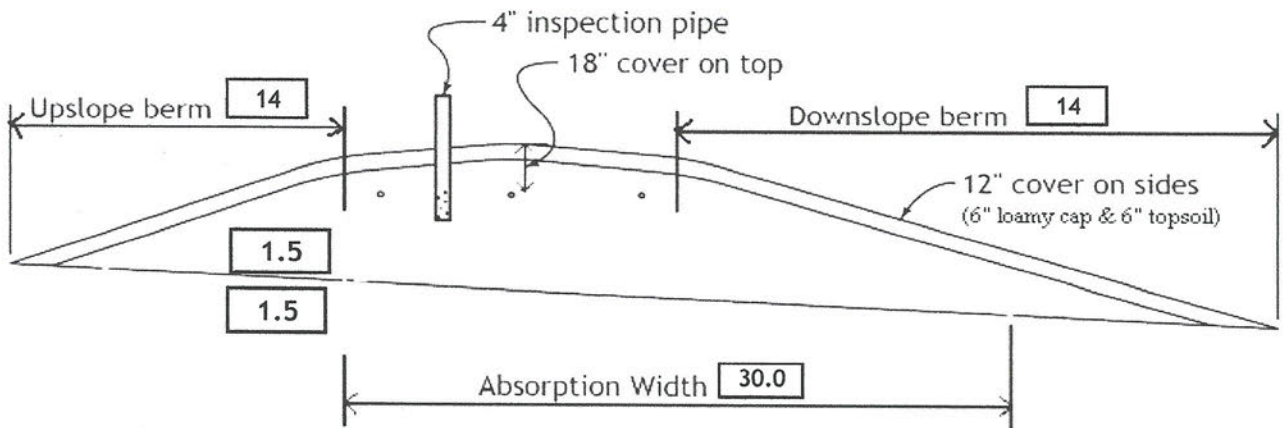
L552
 License#

3/8/2026
 Date

Installer Summary

- 1500 gallon Septic tank (minimum) Tank options: none
- 750 gallon Dose tank (minimum) at 24.92 gpi
- 36 GPM @ 15 ft. of head, Pump required
- 7.7 inch swing on Demand float which translates to roughly 4.9 inches of float tether length
if time dosing is required --> 5.4 minutes ON time & 9 hours OFF time
- 20 inches from bottom of tank to "pump ON" float, or 12 inches to "timer ON" float
- 23 inches from bottom of tank to "Hi Level Alarm" or 33 inches to "Hi level alarm" if time dosed
- 30 ft. of 2.0 inch supply line with end feed manifold connection
(Tip: "top feed" manifold to control drainback)
- 18 inch, or 1.5 ft. Sand Lift Mound
- 10.0 ft. wide by 62.5 ft. long Rock bed
- 3 laterals 2.00 inch diameter 60.5 ft. long 3.0 ft. lateral spacing
- 7/32 inch perfs 3.0 ft. perforation spacing
- No Effluent filter & alarm
- 3 clean out & valve box assemblies

- 30.0 ft. Total sand ABSORPTION width (minimum)
- 10.0 ft. upslope and sideslope (sand beyond rockbed, minimum)
- 10.0 ft. Downslope
- Specific slope ratios give BERM widths (topsoil beyond rockbed) of:
- 4:1 upslope ratio 14 ft. upslope berm
- 4:1 sideslope 14 ft. sideslope berms
- 4:1 downslope 14 ft. downslope berm



Note:
For 0 to 1% slopes, *Absorption Width* is measured from the *Bed* equally in both directions.
For slopes >1%, *Absorption Width* is measured downhill from the upslope edge of the *Bed*.

Rock Bed:	21.0 yd ³ or *1.4=	29 ton	6 inches under pipe
Mound Sand:	144 yd ³ or *1.4=	202 ton	calculation based on 3:1/4:1 slope from top of rockbed
Loamy Cap:	66 yd ³ or *1.4=	92 ton	6" deep
Topsoil:	77 yd ³ or *1.4=	108 ton	6" deep

SKETCH SHEET

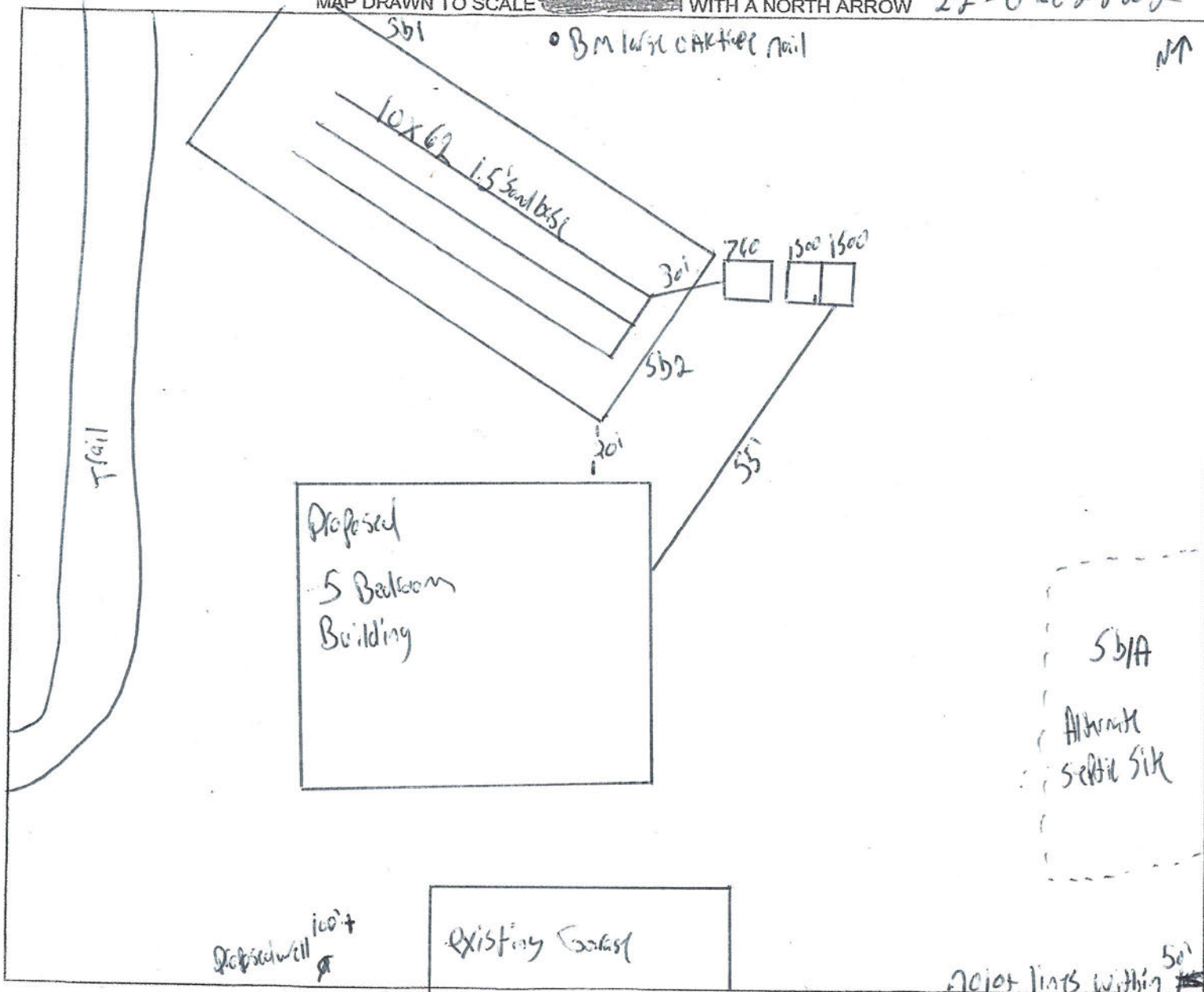
CLIENT: Kadlback

5 Bdrm

DATE: 3/8/26

22-0-028802

MAP DRAWN TO SCALE WITH A NORTH ARROW



CHECK OFF LIST--HAVE ALL OF THE FOLLOWING BEEN DRAWN ON THE MAP??

SHOW EXISTING OR PROPOSED

- WATER WELLS WITHIN 100 FT OF TREATMENT AREAS
- PRESSURE WATER LINES WITHIN 10 FT OF TREATMENT AREAS
- STRUCTURES
- ALL SOIL TREATMENT AREAS
- HORIZONTAL AND VERTICAL REFERENCE
- POINT OF SOIL BORINGS
- LOT EASEMENTS
- DISTURBED/ COMPACTED AREAS
- SITE PROTECTION--LATHE AND RIBBON EVERY 15 FT
- ACCESS ROUTE FOR TANK MAINTENANCE
- REQUIRED SETBACKS
- STRUCTURES
- OHWL
- LOT IMPROVEMENTS
- ALL ISTS COMPONENTS
- DIRECTION OF SLOPE
- ALL LOT DIMENSIONS
- PROPERTY LINES

COMMENTS:

INDICATE ELEVATIONS

BENCHMARK Nail in large CAKTEE	100
ELEVATION OF SEWER LINE @ HOUSE	NA
ELEVATION @ TANK INLET	95.92
ELEVATION @ BOTTOM OF ROCK LAYER	99.75
ELEVATION @ BOTTOM OF BORING OR RESTRICTIVE LAYER	95.51
ELEVATION OF PUMP	92.26
ELEVATION OF DISTRIBUTION DEVICE	100.5

DESIGNER SIGNATURE

LICENSE# L 552

DATE 3/8/26

Aitkin County, Minnesota

B39A—Meehan loamy sand, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 2x14l
Landscape: Outwash plains
Elevation: 590 to 2,030 feet
Mean annual precipitation: 23 to 33 inches
Mean annual air temperature: 36 to 48 degrees F
Frost-free period: 90 to 170 days
Farmland classification: Not prime farmland

Map Unit Composition

Meehan and similar soils: 84 percent
Minor components: 16 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Meehan

Setting

Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy outwash

Typical profile

A - 0 to 7 inches: loamy sand
Bw - 7 to 28 inches: sand
C - 28 to 79 inches: sand

Properties and qualities

Slope: 0 to 3 percent
Surface area covered with cobbles, stones or boulders: 0.0 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): High to very high (2.00 to 20.00 in/hr)
Depth to water table: About 12 to 28 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water supply, 0 to 60 inches: Low (about 4.7 inches)

Interpretive groups

Land capability classification (irrigated): 4e
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: A/D

Ecological site: F088XY011MN - Moist Sandy Mixed Forest
Forage suitability group: Level Swale, Low AWC, Acid
(G088XN007MN)
Other vegetative classification: Level Swale, Low AWC, Acid
(G088XN007MN)
Hydric soil rating: No

Minor Components

Roscommon

Percent of map unit: 6 percent
Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Dip
Down-slope shape: Concave
Across-slope shape: Linear
Ecological site: F088XY008MN - Wet Mixed Forest
Other vegetative classification: Level Swale, Low AWC, Neutral
(G088XN003MN)
Hydric soil rating: Yes

Wurtsmith

Percent of map unit: 4 percent
Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Rise
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: F088XY013MN - Dry Sandy Upland Coniferous
Forest
Other vegetative classification: Sloping Upland, Low AWC, Acid
(G088XN008MN)
Hydric soil rating: No

Menahga

Percent of map unit: 2 percent
Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Rise
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: F088XY012MN - Very Dry Sandy Upland
Coniferous Forest
Other vegetative classification: Sandy (G088XN022MN)
Hydric soil rating: No

Leafriver, frequently ponded

Percent of map unit: 2 percent
Landscape: Outwash plains
Landform: Depressions
Landform position (three-dimensional): Dip
Down-slope shape: Concave
Across-slope shape: Concave

Ecological site: F088XY007MN - Wet Depressional Forest
Other vegetative classification: Not Suited (G088XN024MN)
Hydric soil rating: Yes

Karlstad

Percent of map unit: 2 percent
Landscape: Outwash plains
Landform: Flats
Landform position (three-dimensional): Rise
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: F088XY013MN - Dry Sandy Upland Coniferous Forest
Other vegetative classification: Sloping Upland, Low AWC, Neutral (G088XN004MN)
Hydric soil rating: No

Data Source Information

Soil Survey Area: Aitkin County, Minnesota
Survey Area Data: Version 26, Sep 10, 2025

Subsurface Sewage Treatment System Management Plan

Property Owner: Jason Kadlbaich Phone: _____ Date: _____
Mailing Address: _____ City: _____ Zip: _____
Site Address: _____ City: _____ Zip: _____

This management plan will identify the operation and maintenance activities necessary to ensure long-term performance of your septic system. Some of these activities must be performed by you, the homeowner. Other tasks must be performed by a licensed septic service provider or maintenance provider.

System Designer: Recommends SSTS check every 24 months.
Local Government: Recommends SSTS check every _____ months.
State Requirement: Requires SSTS check every 36 months.
(State requirements are based on MN Rules Chapter 7080.2450, Subp. 2 & 3)

My System needs to be checked every 24 months.

Homeowner Management Tasks:

- Leaks* – Check (look, listen) for leaks in toilets and dripping faucets. Repair leaks promptly.
- Surfacing sewage* – Regularly check for wet or spongy soil around your soil treatment area.
- Effluent filter* – *Inspect and clean twice a year or more.*
- Alarms* – Alarm signals when there is a problem. Contact a service or maintenance provider any time an alarm signals.
- Event counter or water meter* – Record your water use.

-recommend meter readings be conducted (circle one: DAILY WEEKLY MONTHLY N/A)

Licensed septic service provider or maintenance provider (Check all that apply):

- Check to make sure tank is not leaking
- Check and clean the in-tank effluent filter (if exists)
- Check the sludge/scum layer levels in all septic tanks
- Recommend if tank should be pumped
- Check inlet and outlet baffles
- Check the drainfield effluent levels in the rock layer
- Check the pump and alarm system functions
- Check wiring for corrosion and function
- Check dissolved oxygen and effluent temperature in tank
- Provide homeowner with list of results and any action to be taken
- Flush and clean laterals if cleanouts exist

"I understand it is my responsibility to properly operate and maintain the sewage treatment system on this property, utilizing the Management Plan. If requirements in the Management Plan are not met, I will promptly notify the permitting authority and take necessary corrective actions. If I have a new system, I agree to adequately protect the reserve area for future use as a soil treatment system."

Property Owner Signature: _____ Date: 3/18/26
Designer Signature: _____ Date: 3/18/26

See Reverse Side for Management Log

In the matter of APPLICATION NUMBER 2025-000306 AND PERMIT NUMBER 49717C

REQUEST: Requesting a Conditional Use Permit to allow a residential dwelling and a land surveying office building with living quarters, in an area zoned Commercial.

CONDITIONAL USE APPROVED

JASON KADELBACH
48663 216TH PLACE
MCGREGOR, MN 55760

The above entitled matter came to be heard before the Aitkin County Planning Commission on the 21st day of July, 2025, on a petition for a Conditional Use Permit to the Aitkin County Zoning Ordinance, for the following described parcels of land:

See attached EXHIBIT "A" for legal description

IT IS ORDERED that the Conditional Use BE granted upon the following conditions or reasons (if any):

1. Must comply with all local, state and federal regulations that pertain to this type of proposal.
2. Must work with Aitkin County Wetland Specialist with any anticipated impacts to parcel wetlands.

FINDING OF FACT(S) (if any):

The decisional standards of Aitkin County's Conditional Use Permit Findings of Fact WERE MET.

See APPLICATION NUMBER 2025-000306 AND PERMIT NUMBER 49717C

DATED THIS 21ST DAY OF JULY 2025.



CHAIRPERSON OF THE PLANNING COMMISSION

STATE OF MINNESOTA)	AITKIN COUNTY PLANNING
) ss.	AND ZONING OFFICE
COUNTY OF AITKIN)	

I, Andrew Carlstrom, Zoning Administrator for the County of Aitkin, with and in for said County, do hereby certify that I have compared the foregoing Copy and Order GRANTING a Conditional Use Permit with the original record thereof preserved in my office, and have found the same to be a correct and true transcript of the whole thereof.

IN TESTIMONY WHEREOF, I have hereunto subscribed my hand at Aitkin, Minnesota in the County of Aitkin on the 22nd day of July, 2025.



AITKIN COUNTY ZONING ADMINISTRATOR

THIS INSTRUMENT WAS DRAFTED BY:
AITKIN COUNTY ZONING ADMINISTRATOR
COURTHOUSE

EXHIBIT "A"

That part of the North 850.00 feet of the West 2007.00 feet of the North Half of the Northwest Quarter of Section 19, Township 48, Range 23 lying east of the following described line:
Commencing at the Northwest corner of said Northwest Quarter, thence on an assumed bearing of North 89 degrees 45 minutes 20 seconds East along the North line of said Northwest Quarter a distance of 932.00 feet to the Point of Beginning of the line herein described; thence South 13 degrees 53 minutes 54 seconds East, 874.73 feet to the South line of said North 850.00 feet and there terminating. Containing 18.96 acres, more or less.

Aitkin County, Minnesota
(Abstract)



Conditional Use Permit (general) Permit # 2025-0470, App. # 2025-000306, UID # 213944
App. Status: Approved

Aitkin County Planning & Zoning / Environmental Services
307 Second St. NW Room 219, Aitkin, MN 56431
Email: aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

Contact Information

Are you the property owner?	<u>Yes</u>
Applicant Contact Info:	Name: Jason Kadelbach Phone: (218) 464 - 2767 Email Address: jason.kadelbach@apex-landsurveying.com Mailing Address: 48663 216th Place Mcgregor MN 55760
Have you had a pre-application meeting with the Planning & Zoning Department?	<u>Yes</u>

Project Location

Property:	Property Location								Property Attributes	
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	22-0-028802		MCGREGOR TWP	KADELBACH, JASON R	KADELBACH, JASON R	PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR IN 480899		S:19 T:48 R:23		
Driving directions from Aitkin to Property:	2 miles north of Mcgregor, take a right on driveway for 42868 State Highway 65, go east on driveway until it ends at a new grey and Black Garage.									

Brief Narrative

Brief Narrative:	We are asking for a conditional use permit to build a 1430 sq. ft residential house as shown on the attached drawing, this would be a second building directly North of the office building we are in the process of requesting our building permit for, also shown on the attached drawing. Future plans to potentially add land to the existing 5.0 acres lots to the North of 430th Lane to make those lots more desirable and buildable this is also shown on the attached plan.
Provide a detailed explanation on why and how this proposal is meeting the Comprehensive Land Use Plan for Aitkin County.:	We will be creating a Land Surveying Office on subject Property along with living Quarters to be rented to future employees. Assist and encourage economic growth and job creation across all sectors of the County, by expanding and diversifying job opportunities and income growth.
How will this proposal be compatible with existing land uses?	Land is zoned commercial and there are currently several commercial office directly North of subject property with a mix of Residential Houses mixed in.
Is this proposal meeting the Findings of Fact?	<u>Yes</u>

Detailed Operational Plan

Detailed Operational Plan:	Living Quarters 3 bedroom two bath see attached Plan
If you have already prepared a detailed operational plan, please attach it below:	<div style="border: 1px dashed black; padding: 5px;"><p>File 1: FOUNDATION_9-9-22.pdf</p><p>File 2: FRONT_LEFT_9-9-22.pdf</p><p>File 3: MAIN_FLOOR_9-9-22.pdf</p><p>File 4: REAR_RIGHT_DETAIL_9-9-22.pdf</p></div>

A Scaled Drawing

Attach Scaled Drawing:	<div style="border: 1px dashed black; padding: 5px;"><p>File 1: Conditiona_use_permit_and_future.pdf</p></div>
------------------------	--

Septic Compliance

Is there an existing septic system on the property?	<u>No</u>
---	-----------

Property Deed

Please attach the property deed(s):	<div style="border: 1px dashed black; padding: 5px;"><p>File 1: 480899-p0001_-_p0004.pdf</p></div>
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Terms

Conditional Use Terms & Conditions

The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.

Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.

The landowner or authorized agent may make application for a zoning permit agreeing to do such work in accordance with all Aitkin County Ordinances. The landowner or authorized agent agrees that the application, site plan, and all other attachments submitted herewith are true and accurate and shall become a part of the permit. The landowner or authorized agent agrees that, in making application for a zoning permit, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County, State, or Federal Ordinances or Statutes.
IT IS THE APPLICANTS SOLE RESPONSIBILITY TO CONTACT OTHER LOCAL, COUNTY, STATE, OR FEDERAL AGENCIES TO ENSURE THE APPLICANT HAS COMPLIED WITH ALL RELEVANT ORDINANCES OR STATUTES.

All corners of the proposed structure(s) need to be staked with visible flags, ribbon, or lathes prior to onsite inspection by Aitkin County.

Conditional Use Permit fees are non-refundable if denied or approved.

I acknowledge that by submitting this application, the application and its attachments are public information.

Invoice #62983 (05/16/2025) Expected Payment Method: Pay Online - Card or ECheck

Charge	Cost	Quantity	Total
Conditional Use Application Fee added 05/16/2025 10:15 AM \$650 Flat Fee	\$650.00	x 1	\$650.00
Recording Fee added 05/16/2025 10:15 AM \$46 Flat Fee	\$46.00	x 1	\$46.00
Grand Total			
		Total	\$696.00
		Payment 05/16/2025	\$696.00
		Due	\$0.00

Conditions of Permit

1. Must comply with all local, state and federal regulations that pertain to this type of proposal.
2. Must work with Aitkin County Wetland Specialist with any anticipated impacts to parcel wetlands

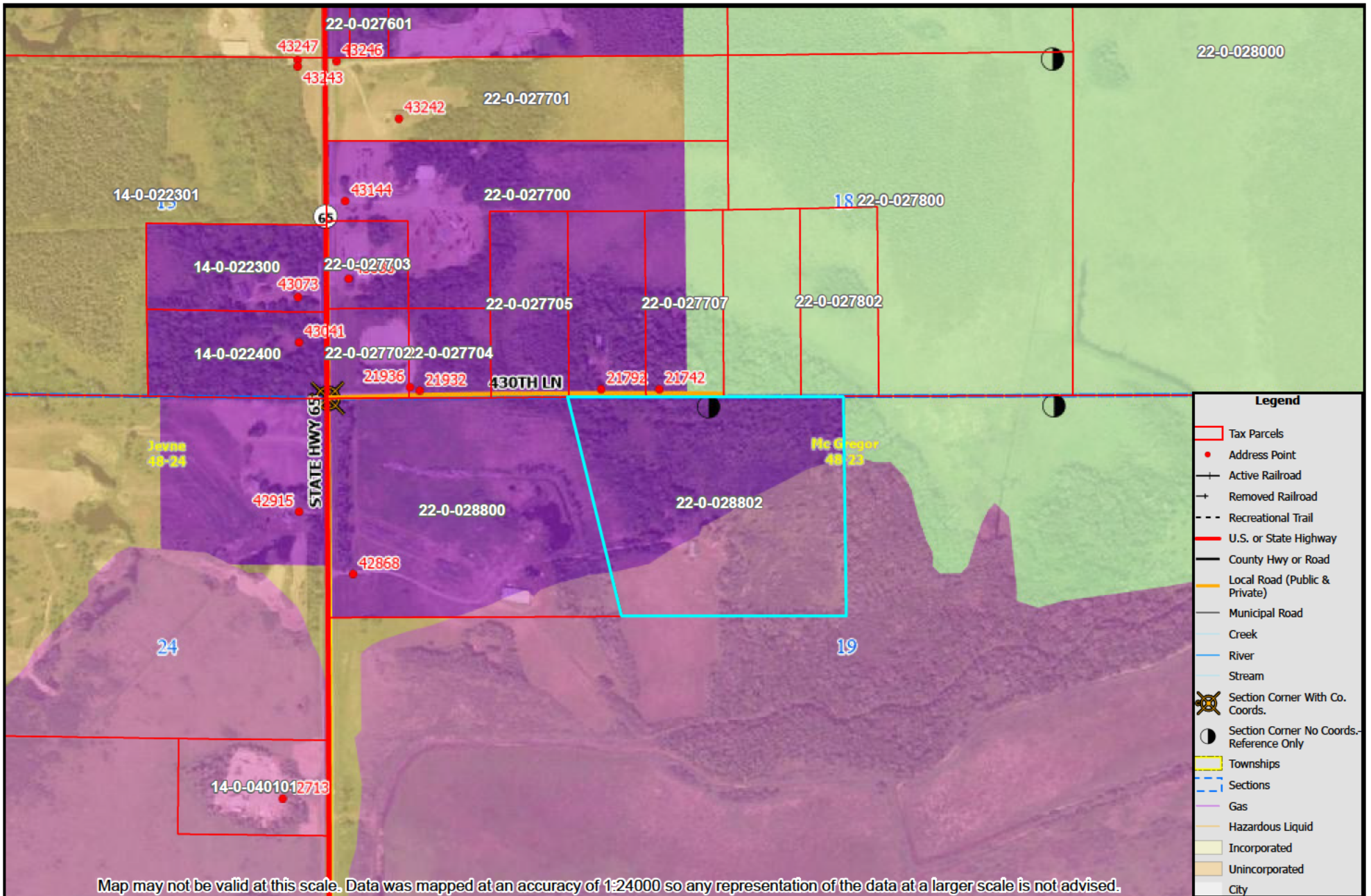
Approvals

Approval	Signature
Applicant	Jason R. Kadelbach - 07/21/2025 11:52 AM 9912e04ce42bb1437336aa82330d1fe1 afc4d26f7575f6b613db1d30d0f3a98e
#1 Admin	Shannon Wiebusch - 07/22/2025 12:43 PM 9d451ecec28aee373984fc25de30ceb4 1fffa20576222e091632a2da6885ee6f
#2 Planning Commission	Shannon Wiebusch - 07/22/2025 12:43 PM b46e61401ccda4e04eb9e6930b19a4ff 693744041d2620403dbbab9fc299e55e

Public Notes

Text:	<p>Permit 49717C approved for Conditional Use Permit to allow a residential dwelling and a land surveying office building with living quarters, in an area zoned Commercial, with 2 conditions:</p> <ol style="list-style-type: none">1. Must comply with all local, state and federal regulations that pertain to this type of proposal.2. Must work with Aitkin County Wetland Specialist with any anticipated impacts to parcel wetlands <p>THIS IS NOT A CONSTRUCTION PERMIT. ALL APPLICABLE LAND USE PERMITS NEED TO BE OBTAINED.</p>
File(s):	<p>File 1: <input type="text" value="3748_001.pdf"/></p> <p>3748_001.pdf</p>

Print View



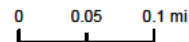
Map may not be valid at this scale. Data was mapped at an accuracy of 1:24000 so any representation of the data at a larger scale is not advised.

These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

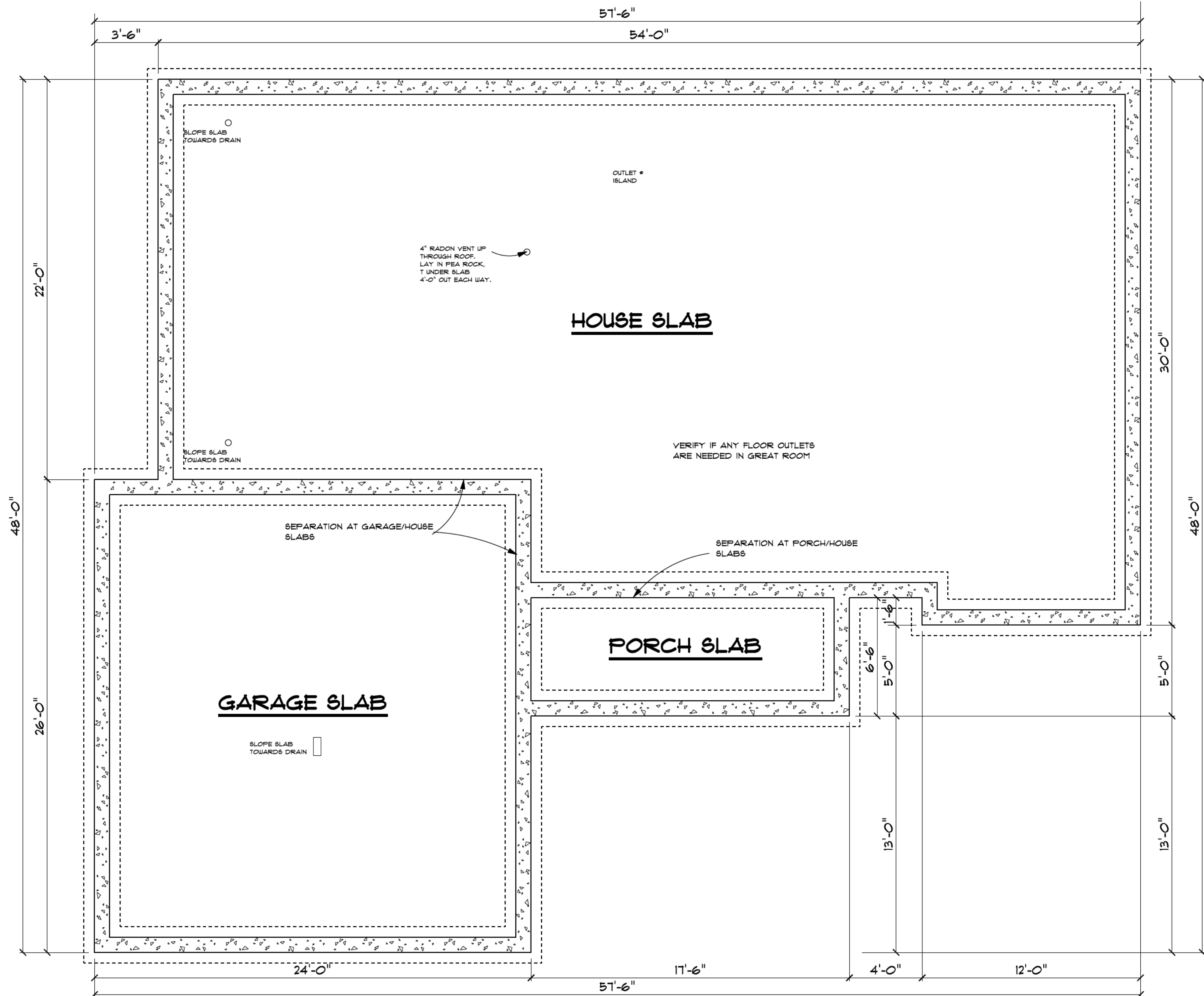


ArcGIS Web AppBuilder

1:9,028



Date: 5/23/2025



FOUNDATION LAYOUT
 SCALE: 1/4" = 1'-0"

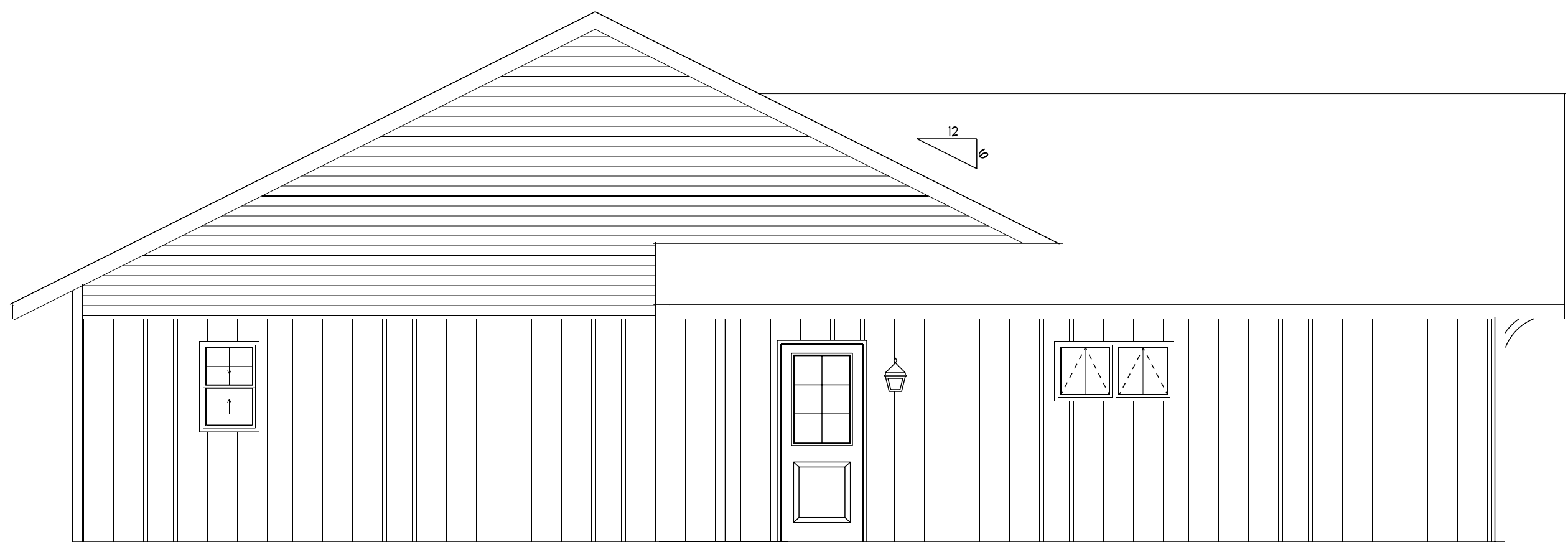
DIMENSIONS ARE TO OUTSIDE
 EDGE OF CONCRETE SLAB.
 ADJUST FOR STONE LEDGE

MS DESIGNS FOR RESIDENTIAL HOME DESIGNS PHONE: 218-878-1076 / mdesigns_40@msn.com		SHEET INFO. FOUNDATION LAYOUT	
DRAWN BY: MINDY SONNEMAN		DATE: 1-19-22	2 4
JOB TYPE: 1 LEVEL SLAB		REVISION: 9-9-22	
JOB NAME: WEETS FAMILY			



FRONT ELEVATION

SCALE: 1/4"=1'-0"

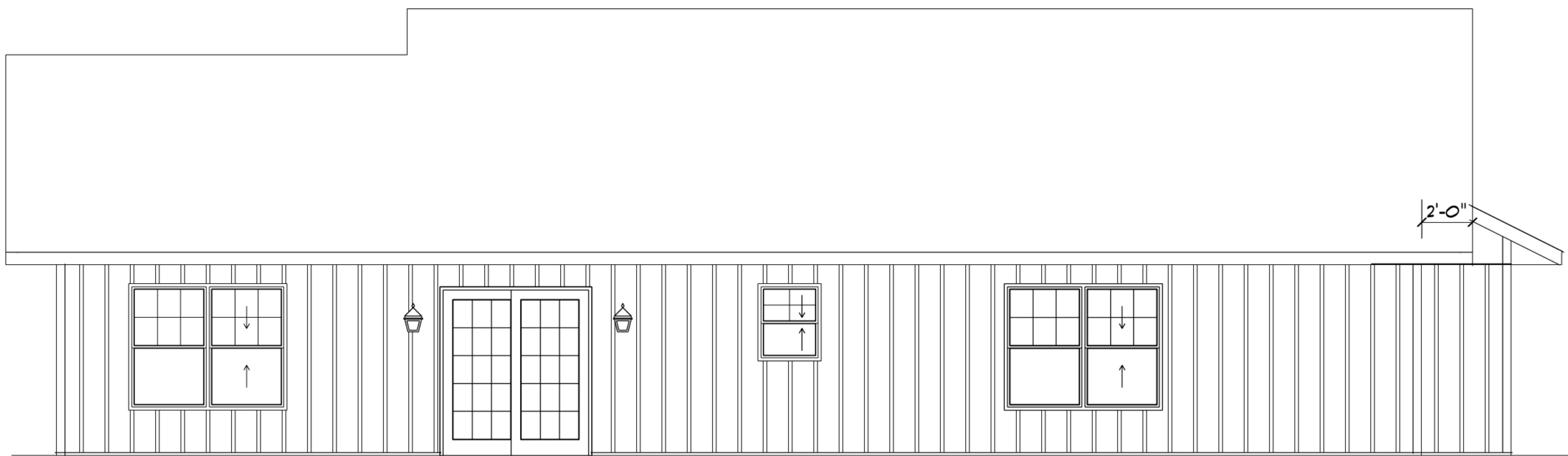


LEFT ELEVATION

SCALE: 1/4"=1'-0"

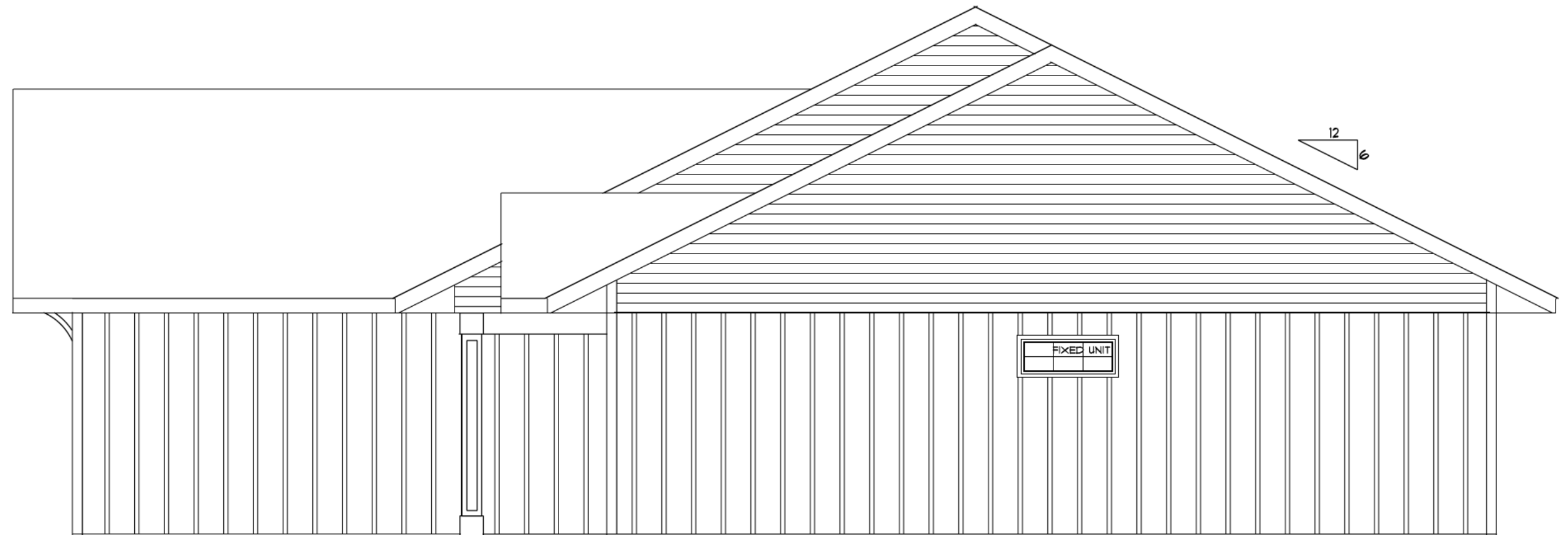
GENERAL NOTES:
 ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL BUILDING CODES
 ALL REQUIRED BUILDING PERMITS TO BE OBTAINED
 A LICENSED GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING
 ALL PROJECT ENGINEERING DONE FOR THIS HOME
 A LICENSED GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING SITE
 CONDITIONS PRIOR TO START OF CONSTRUCTION
 A LICENSED GENERAL CONTRACTOR IS TO VERIFY ALL PLAN DIMENSIONS
 AND MEASUREMENTS PRIOR TO START OF PROJECT, AND BEFORE ORDERING
 ANY SUPPLIES
 M5 DESIGNS AND DESIGNER WILL NOT BE HELD RESPONSIBLE FOR ANY WINDOW
 OR DOOR ROUGH OPENINGS, CONTRACTOR OR HOMEOWNER MUST VERIFY
 ALL ROUGH OPENINGS WITH TYPE OF WINDOWS AND DOORS BEFORE CONSTRUCTION
 BEGINS
 M5 DESIGNS AND DESIGNER ARE NOT RESPONSIBLE FOR ANY DISCREPANCIES THAT
 RESULT IN ERROR OR OMISSION FROM THESE PLANS
 M5 DESIGNS REQUESTS THAT ANY DISCREPANCIES OR OMISSIONS FOUND ON THESE
 DRAWINGS BEFORE CONSTRUCTION BEGINS BE REPORTED TO M5 DESIGNS
 IMMEDIATELY FOR REVISIONS
 PLANS HAVE BEEN REVIEWED AND APPROVED BY THE HOMEOWNER(S) OR CONTRACTOR.
 HOMEOWNER(S) OR CONTRACTOR ARE AWARE THAT M5 DESIGNS HAS DONE THEIR
 BEST TO FURNISH COMPLETE AND ACCURATE PLANS.
 BY SIGNING BELOW THE HOMEOWNER(S) OR CONTRACTOR RELEASES M5 DESIGNS AND
 DESIGNER FROM ANY LIABILITY THAT MAY RESULT IN ERROR OR OMISSION ON
 SAID PLANS.

M5 DESIGNS FOR RESIDENTIAL HOME DESIGNS PHONE: 218-278-1076 / m5designs_40@me.com		SHEET INFO. ELEVATIONS	
DRAWN BY: MINDY SONNEMAN JOB TYPE: 1 LEVEL SLAB		DATE: 1-19-22	1 4
JOB NAME: WEETS FAMILY		REVISION: 9-9-22	



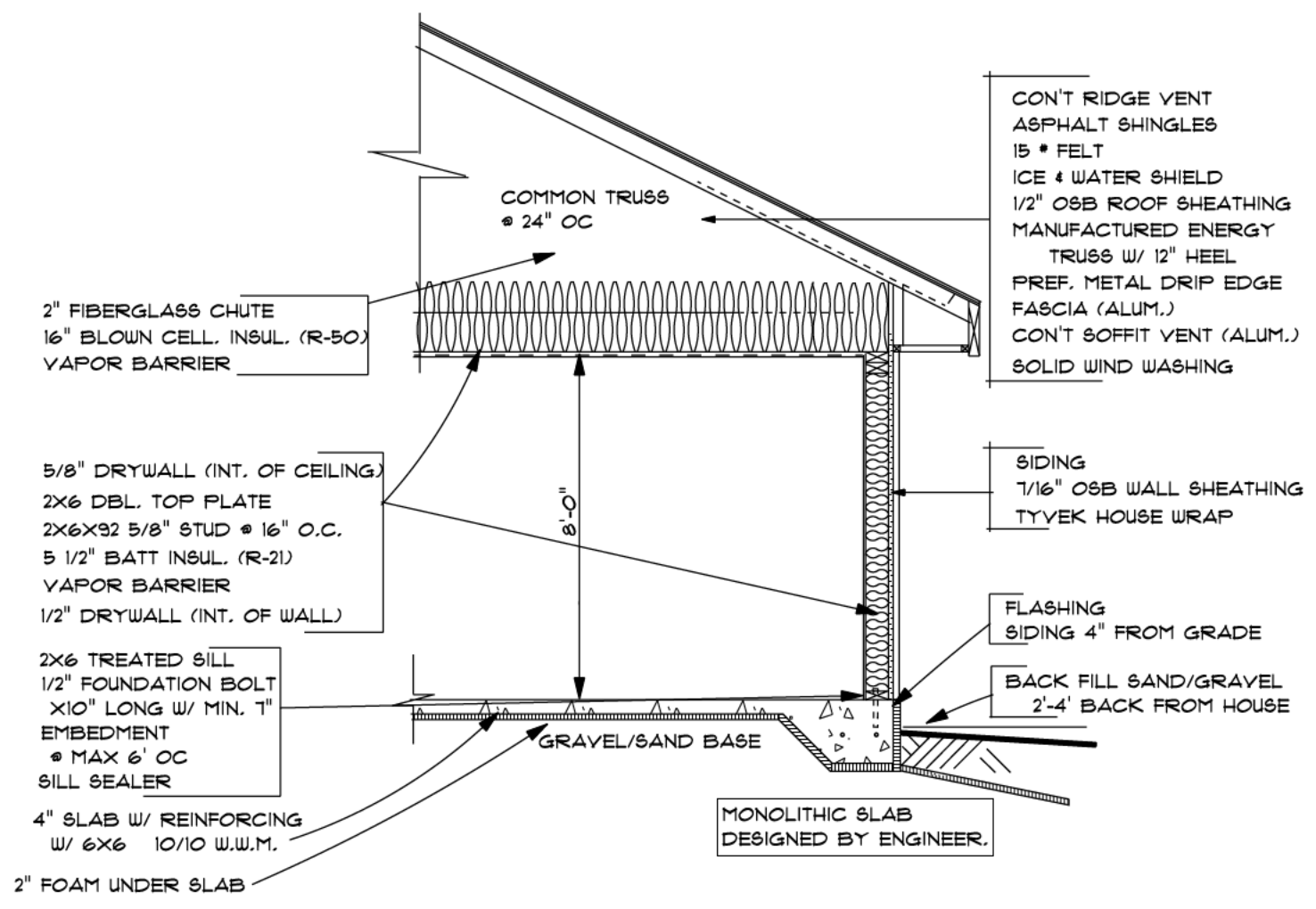
REAR ELEVATION

SCALE: 1/4"=1'-0"



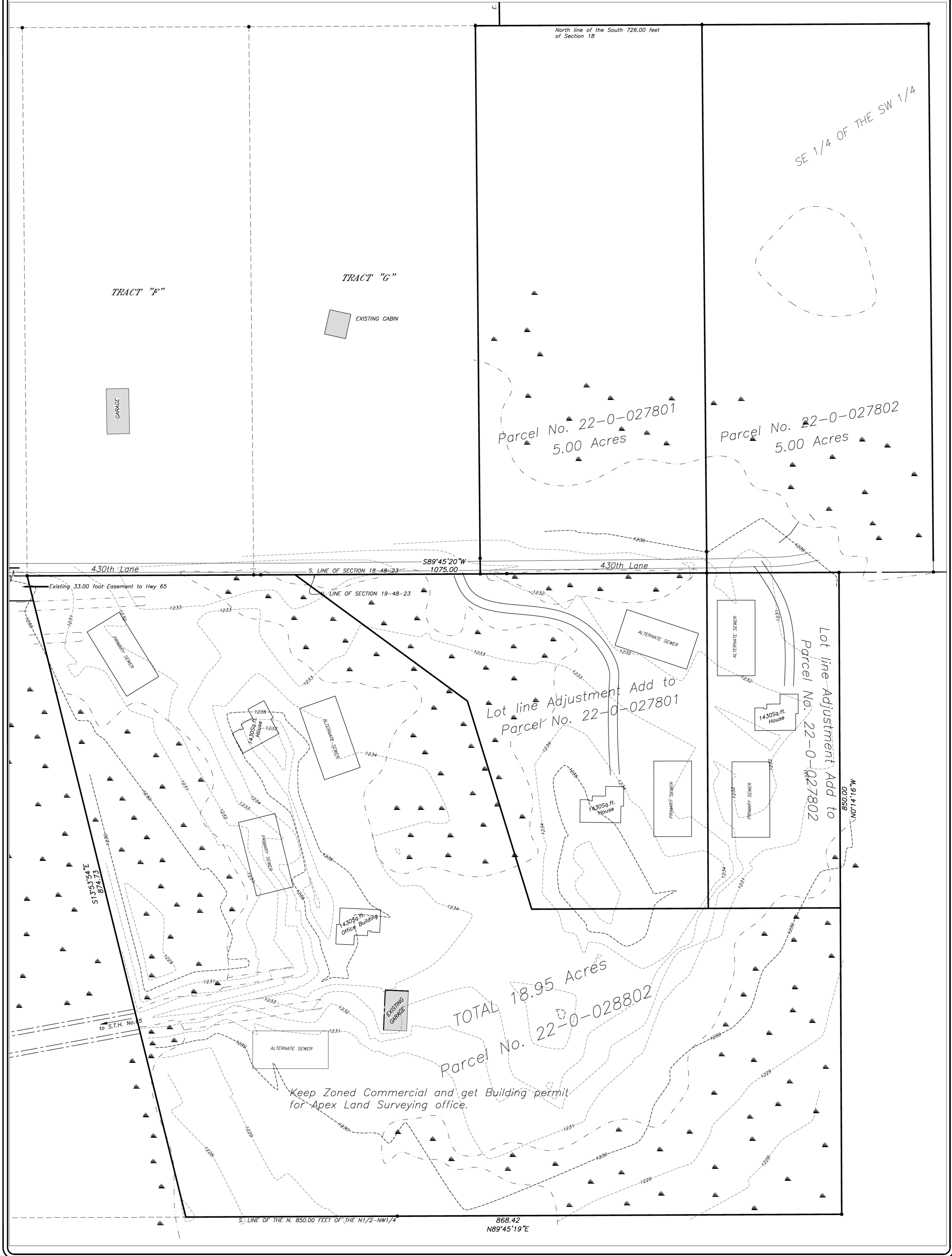
RIGHT ELEVATION

SCALE: 1/4"=1'-0"



TYPICAL WALL SECTION

MS DESIGNS FOR RESIDENTIAL HOME DESIGNS <small>PHONE: 218-878-1076 / mdesigns_40@msn.com</small>		SHEET INFO. ELEVATIONS WALL DETAIL	
DRAWN BY: MINDY SONNEMAN JOB TYPE: 1 LEVEL SLAB		DATE: 1-19-22	4
JOB NAME: WEETS FAMILY		REVISION: 9-9-22	4



CRV Filed
No Delinquent Taxes and Transfer Entered
Kirk Peysar, County Auditor
State Deed Tax Paid
Lori Grams, County Treasurer

Doc No: **A480899**
Certified Filed and/or Recorded on
2/27/2024 10:58 AM

Office of the County Recorder
Aitkin County, Minnesota
Tara Snyder, County Recorder

Package: **85853** Mick

WAD 1/4

REC FEE	\$46.00
SDT	\$363.00
eCRV #	1624226

This cover sheet was added by the Aitkin County Recorder's Office to allow space for the recording information of this document. It is not intended to alter the document/certified copy.

This cover sheet is now a permanent part of the recorded document.

(Top 3 inches reserved for recording data)

WARRANTY DEED
Business Entity to Individual(s)

Minnesota Uniform Conveyancing Blanks
Form 10.1.7 (2016)

eCRV number: 1624226

DEED TAX DUE: \$ 363.00

DATE: February 21, 2024
(month/day/year)

FOR VALUABLE CONSIDERATION, Savanna Farms, LLC
(insert name of Grantor)

a limited liability company under the laws of Minnesota ("Grantor"),
hereby conveys and warrants to Jason R. Kadelbach
(insert name of each Grantee) ("Grantee"), as

(Check only one box.) tenants in common, (If more than one Grantee is named above and either no box is checked or both boxes are checked, this conveyance is made to the named Grantees as tenants in common.)
 joint tenants,

real property in Aitkin County, Minnesota, legally described as follows:

→ see attached Exhibit A for legal description

Check here if all or part of the described real property is Registered (Torrens)

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:
Covenants, restrictions, reservations, and easements of record, if any.

Check applicable box:

- The Seller certifies that the Seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: _____.)
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor

Savanna Farms, LLC

(name of Grantor)

By: Wayne Alden mlh
(signature) Wayne Alden

Its: _____
(type of authority) Member

By: _____
(signature)

Its: _____
(type of authority)

State of Minnesota, County of Aitkin

This instrument was acknowledged before me on February 20, 2024, by Wayne Alden
(month/day/year) (name of authorized signer)

as Member
(type of authority)

and by _____
(name of authorized signer)

as _____ of Savanna Farms, LLC, a Minnesota limited liability company
(type of authority) (name of Grantor)

(Stamp)



Annette M. Wilkie
(signature of notarial officer)

Title (and Rank): _____

My commission expires: _____
(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
(insert name and address)

McGregor Title
PO Box 309
McGregor, MN 55760

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:
(insert legal name and residential or business address of Grantee)

Jason R. Kadelbach
8962 Hwy. 37
Iron, MN 55751

EXHIBIT "A"

→ That part of the North 850.00 feet of the West 2007.00 feet of the North Half of the Northwest Quarter of Section 19, Township 48, Range 23 lying east of the following described line: Commencing at the Northwest corner of said Northwest Quarter, thence on an assumed bearing of North 89 degrees 45 minutes 20 seconds East along the North line of said Northwest Quarter a distance of 932.00 feet to the Point of Beginning of the line herein described; thence South 13 degrees 53 minutes 54 seconds East, 874.73 feet to the South line of said North 850.00 feet and there terminating. Containing 18.96 acres, more or less.

Aitkin County, Minnesota
(Abstract)



Application Information

Info	Applicant Contact Info
App. Type Conditional Use Permit (general)	Name: Jason Kadelbach
App. # 2025-000306	Phone: (218) 464 - 2767
UID # 213944	Email Address: jason.kadelbach@apex-landsurveying.com
App. Status Pending Review	Mailing Address: 48663 216th Place Mcgregor MN 55760

Property Location

Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)
22-0-028802		MCGREGOR TWP	KADELBACH, JASON R	KADELBACH, JASON R

Property

Legal Description

Legal Description
 PT OF N 850 FT OF
 W 2007 FT OF N 1/2
 OF
 NW, LYING EAST OF
 LINE DESCR IN
 480899

Property Attributes

Plat Name	Section-Township-Range	Lake Class	Lake Name
	S:19 T:48 R:23		

Public Notice List UID # 214068
 Conditional Use Permit (general): App. # 2025-000306
 App. Status: Pending Review

Aitkin County Planning & Zoning / Environmental Services
 307 Second St. NW Room 219, Aitkin, MN 56431
 Email: aitkinpz@aitkincountymn.gov
 Phone: 218-927-7342
 Fax: 218-927-4372

Public Notice List

Meeting Date:	06/16/2025
Application Date:	05/16/2025
60-Day Expiration Date:	07/14/2025
Newspaper received notice? (publicnotice@ecm-inc.com)	Yes
Planning Commission Members received notice?	Yes
Authorized Agent received notice?	N/A
County Attorney received notice?	Yes
Which township officials received notice?	McGregor chair and clerk
SWCD received notice?	Yes
DNR received notice?	N/A
County Highway received notice?	Yes
Sheriff received notice?	Yes
Economic Development Coordinator received notice?	Yes
County Assessor received notice?	Yes
MnDOT received notice?	N/A
MHB received notice?	Yes
District # and Commissioner Name:	D4 Sample
Lake Association received notice?	NA
Number of neighbor notices sent?	18
What buffer area did you use for the Neighbor Notices? (min 1320 ft)	1400 Feet
Total # of Notices Sent:	28

Attach a copy of the Neighbor Notice
that was sent:

File 1: [kadelbach_labels.pdf](#)

File 2: [Kadelbach_Notice.docx](#)

ELDE, WILLIAM M & HENRY, JO...
21943 512TH LN
MCGREGOR MN 55760

LAKES GAS CO
26777 FALLBROOK AVE
WYOMING MN 55092

FREDRICKSON, TYLER & KARI...
43144 STATE HWY 65
MCGREGOR MN 55760

MARZI, RONALD & MURPHY, KA...
21742 430TH LANE
MCGREGOR MN 55760

HAGEMAN, BRAD W
11861 HIGHWAY 25 NORTH
FOLEY MN 56329

MICKELSON, KENDRA
43242 STATE HWY 65
MCGREGOR MN 55760

HALEK-HOOPER, NICHOLAS J
42713 STATE HWY 65
MCGREGOR MN 55760

PAQUETTE, JEREMY M & BECK...
50801 237TH PL
MCGREGOR MN 55760

HOOPER, NICHOLAS & COURT...
42713 STATE HIGHWAY 65
MCGREGOR MN 55760

SAVANNA FARMS LLC
22528 479TH LN
MCGREGOR MN 55760

KADELBACH, JASON R
8962 HWY 37
IRON MN 55751

STATE OF MINNESOTA
AITKIN COUNTY TREASURER
307 SECOND ST NW RM 119
AITKIN MN 56431

** Applicant*
KADELBACH, JASON R & KALE...
8962 HWY 37
IRON MN 55751

STIEG, TAD & SHARON
9434 NORWOOD LN N
MAPLE GROVE MN 55364

KENNECOTT EXPLORATION CO...
ATTN LAND DEPARTMENT
2640 W 1700 S
SALT LAKE CITY UT 84104

TRUJILLO, SHIRLEY L TRUSTE...
SHIRLEY L TRUJILLO TRUST
PO BOX 369
MCGREGOR MN 55760

KOCH, BLAKE & RAMTHUN, RIC...
25423 660TH AVE
DARWIN MN 55234

KOWITZ, TONY L & ANDRELIS ...
41840 255TH AVE
MCGREGOR MN 55760

18



AITKIN COUNTY PLANNING & ZONING
307 2nd Street NW, Room 219, Aitkin, MN 56431
Ph: (218) 927-7342 Email: aitkinpz@aitkincountymn.gov

NOTICE OF REVIEW FOR A CONDITIONAL USE PERMIT AS REQUIRED BY THE AITKIN COUNTY ZONING ORDINANCE

Application #: 2025-000306

Applicant: Jason Kadelbach
48663 216th Place
Mcgregor, MN 55760

Property Owner: Jason Kadelbach

Project Location: Property Address:
Not assigned.

Parcel Number:
22-0-028802

Legal Description:

PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR IN 480899, SECTION NINETEEN (19), TOWNSHIP FORTY-EIGHT (48), RANGE TWENTY-THREE (23), Aitkin County, Minnesota.

Purpose of the Application: Requesting a Conditional Use Permit to allow a residential dwelling and a land surveying office building with living quarters, in an area zoned Commercial.

Public Comment: The applicant named above has made application to the Aitkin County Planning Commission for a Conditional Use Permit. A Public Hearing will be held by the Planning Commission on **June 16, 2025 at 4:00 P.M. in the Board Room of the Aitkin County Government Center (Third Floor) located at 307 Second Street NW, Aitkin, MN 56431.** The public is invited to attend the hearing to submit your views on the matter in person or by representative.

Written comments on this application may be submitted any time until June 13, 2025 at 4:00pm. Please address any written comments to the Planning Commission, include the author's full name and mailing address, and submit to the address below or email to aitkinpz@aitkincountymn.gov

The application and meeting agenda can be viewed on the Aitkin County website:
<https://www.co.aitkin.mn.us/departments/env/>

An effort has been made to notify the property owners within one-quarter mile of the property concerned or to the nearest ten (10) property owners, whichever is greater. Addresses are not always complete or correct; to ensure that everyone has been notified, please share this notice with any of your neighbors that may not have been notified by mail. This notice is also published in the Aitkin Independent Age.

DATED: May 23, 2025

AITKIN COUNTY PLANNING COMMISSION
C/O AITKIN COUNTY PLANNING & ZONING
307 2ND STREET NW, ROOM 219
AITKIN, MINNESOTA 56431
EMAIL: aitkinpz@aitkincountymn.gov
PHONE: (218) 927-7342

AGENDA

THE AITKIN COUNTY PLANNING COMMISSION WILL ASSEMBLE FOR A HEARING ON
JUNE 16, 2025 AT 4:00 P.M.
IN THE BOARD ROOM OF THE AITKIN COUNTY GOVERNMENT CENTER (THIRD FLOOR)
307 SECOND STREET NW, AITKIN, MINNESOTA 56431
THE FOLLOWING ITEMS WILL BE REVIEWED:

1. Call the meeting to order.
2. Roll call.
3. Approval of Agenda.

OLD BUSINESS:

4. **Steve Blom, 4566 Hwy 71 NE, Suite 1, Willmar, MN 56201** Requesting a Conditional Use Permit for a planned unit development for a recreational vehicle park, in an area zoned Shoreland (Elm Island Lake). PT LOT 1 BLOCK 5 AS IN DOC 399207 (TRACT A), PT LOT 1 BLOCK 5 AS IN DOC 399208 (TRACT B), AND PT LOT 1 BLOCK 5 AS IN DOC 399209 (TRACT C), SECTION FIFTEEN (15), TOWNSHIP FORTY-SIX (46), RANGE TWENTY-SIX (26), Aitkin County, Minnesota.

APP# 2025-000187

NEW BUSINESS:

5. **Township of Shamrock, 49954 Lake Ave, McGregor, MN 55760**, Requesting a Rezone from Farm Residential to Commercial. 5 AC IN NW NE, SECTION SIXTEEN (16), TOWNSHIP FORTY-NINE (49), RANGE TWENTY-THREE (23), Aitkin County, Minnesota.

APP# 2025-000207

6. **Nalee Vue, 3915 Fallgold Pkwy N, Brooklyn Park, MN 55443**, Requesting an Interim Use Permit to operate a Vacation/Short Term Rental in an area zoned Shoreland (Waukenabo Lake). LOT 5 BLK 1 SUNSET KNOLL, SECTION FOURTEEN (14), TOWNSHIP FORTY-NINE (49), RANGE TWENTY-SIX (26), Aitkin County, Minnesota.

APP# 2025-000165

7. **Beth Lundgren, 29058 442nd Place, Aitkin, MN 56431**, Requesting an Interim Use Permit to operate a Vacation/Short-Term Rental, in an area zoned Shoreland (Farm Island Lake). LOT 10 BLK 3 JOHNSONS POINT, SECTION TWENTY-NINE (29), TOWNSHIP FORTY-SIX (46), RANGE TWENTY-SEVEN (27), Aitkin County, Minnesota.

APP# 2025-000295

8. **Brad Alan Jordahl, 1259 130th. Ln. Nw, Coon Rapids, MN 55448**, Requesting an Interim Use Permit to operate a Vacation/Short-Term Rental, in an area zoned Shoreland (Hill Lake). PT LOT 1 AS IN DOC 335607 (PARCEL B), SECTION ELEVEN (11), TOWNSHIP FIFTY-TWO (52), RANGE TWENTY-SIX (26), Aitkin County, Minnesota.

APP# 2025-000307

9. **Brad Busbey/Anderson Brothers Construction, 11325 Hwy 210 E, Brainerd, MN 56401**, Requesting an Interim Use permit to operate a temporary, portable asphalt plant for a public works project, in an area zoned Farm Residential. SE NE LESS R/W AND PT NE SE LYING N OF CO RD 40 AS IN DOC 358071, SECTION TEN (10), TOWNSHIP FORTY-NINE (49), RANGE TWENTY-THREE (23), Aitkin County, Minnesota.

APP# 2025-000291

10. Jason Kadelbach, 48663 216th Place, McGregor, MN 55760, Requesting a Conditional Use Permit to allow a residential dwelling and a land surveying office building with living quarters, in an area zoned Commercial. PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR IN 480899, SECTION NINETEEN (19), TOWNSHIP FORTY-EIGHT (48), RANGE TWENTY-THREE (23), Aitkin County, Minnesota.

APP# 2025-000306

11. Approval of Minutes, MAY 19, 2025 Planning Commission Meeting.

12. Adjourn.

For more information, contact Planning & Zoning at 218-927-7342 or aitkinpz@co.aitkin.mn.us

AITKIN COUNTY ZONING

SUMMARY OF NOTICES

June 16, 2025

New Business:

Township of Shamrock #2025-000207

There were 59 notices sent out in regard to this application. No comments were received.

Nalee Vue #2025-000165

There were 49 notices sent out in regard to this application. Three comments were received.

Beth Lundgren #2025-000295

There were 60 notices sent out in regard to this application. No comments were received.

Brad Jordahl #2025-000307

There were 29 notices sent out in regard to this application. One comment was received.

Anderson Brothers Construction #2025-000291

There were 24 notices sent out in regard to this application. No comments were received.

Jason Kadelbach #2025-000306

There were 28 notices sent out in regard to this application. One comment was received.

Application 22-0-022802 - Mr. Kadelbach - Request Conditional Use Permit

From Geams, Timothy (DOT) <timothy.geams@state.mn.us>
Date Mon 6/9/2025 7:38 AM
To Aitkin County Planning & Zoning <aitkinpz@aitkincountymn.gov>
Cc Sutherland, Kevin (DOT) <kevin.sutherland@state.mn.us>

[**NOTICE:** This message originated outside of the Aitkin County Mail System -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Aitkin County,
On behalf of MnDOT, there is no issue with the application for a Conditional Use Permit to allow residential dwelling and land surveying office building within living quarters in an area zoned commercial for the property ID# 22-0-022802.

Primary access appears to be along TH 65 through another property (PID#: 22-0-022800) and that is a matter between the private entities. However, as typical MnDOT recommends that private surveys be conducted to ensure any improvements, buildings, wells, construction, parking, signage, etc remain off MnDOT Right of Way/other entity property.

V/R
Geams, Timothy (PE)
Assistant Right of Way Engineer
District 1, MN DOT
218-725-2835

Andrew Carlstrom

From: Jason Kadelbach <jason.kadelbach@apex-landsurveying.com>
Sent: Monday, June 16, 2025 9:13 AM
To: Andrew Carlstrom; Kevin E. Turnock; Randy Quale
Subject: Conditional use permit

[**NOTICE:** This message originated outside of the Aitkin County Mail System -- **DO NOT CLICK** on links or open **attachments** unless you are sure the content is safe.]

Good morning, I planned on being at the meeting at 4:00 however I'm currently stuck at an airport with a broken plane. Says they will have it fixed shortly (3 hour delay) that said at this point if it doesn't get delayed more it's going to be tough to be there by 4:00. Has anyone sent in any complaint letter? Can you talk on my behalf? It's just building 2 of the exact same houses on the same commercial parcel, with a potential of splitting in the future if we get proper access along the north line. Apex land surveying will rent and use the one house as a land surveying office. The other house will be a family house and potentially my retirement home. If there's any complaints we could always go back and look at the potential pud and modular homes idea but based on conversation with some of the locals they wouldn't be to excited about that. I could always see if my son could come up if you thought that would be good idea? As Always thank you for everything.

Jason

Get [Outlook for Android](#)

SUMMARY OF NOTICES July 21, 2025

Nalee Vue #2025-000165

There were 49 notices sent out in regard to this application. One comment was received since the last meeting.

Jason Kadelbach #2025-000306

No further comments received since the last meeting.

Township of Shamrock #2025-000359

There were 35 notices sent out in regard to this application. No comments received.

Ramon Abraham Estrada-Marroquin #2025-000425

There were 33 notices sent out in regard to this application. One comment was received.

Daleso Yadetta #2025-000458

There were 50 notices sent out in regard to this application. One comment was received.

AITKIN COUNTY ENVIRONMENTAL SERVICES
PLANNING AND ZONING

INSPECTION REPORT

Applicant: Jason Kadelbach _____

App #: 2025-000306 _____

PC Meeting date: JUNE 16, 2025 _____

Conforming Septic System: Yes No

NEIGHBORING STRUCTURE COMMENTS: Nearest residence
is well over 1000 ft away from this property.
Parcels to north contain a few storage sheds.

OBSERVATIONS: Other commercial properties
adjacent to west and north.

Inspector: Brock Anderson Date: 6/9/25

Jason Kadelbach

PID: 22-0-028802

CUP App# 2025-000306

Proposing Residence and
Office on same property

Existing garage



Jun 9, 2025 at 1:50:23 PM
42868 MN-65
McGregor MN 55760
United States



Office Building location



Residence location



Road into property

Jun 9, 2025 at 1:56:07 PM
42868 MN-65
McGregor MN 55760
United States



Road into property off Hwy 65

CONDITIONAL USE CRITERIA/FINDINGS OF FACT

APP# 2025-000306

Jason Kadelbach, Requesting a Conditional Use Permit to allow a residential dwelling and a land surveying office building with living quarters, in an area zoned Commercial. PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR IN 480899, SECTION NINETEEN (19), TOWNSHIP FORTY-EIGHT (48), RANGE TWENTY-THREE (23), Aitkin County, Minnesota.

	Charlie	Dave	Mike	Steve	Dennise
1. The proposed use will not be injurious to the use and enjoyment of the environment or of other property in the immediate vicinity, nor impair property values within the surrounding neighborhood.	Y	Y		Y	Y
2. The proposed use will not increase local or state expenditures in relation to costs of servicing or maintaining neighboring properties.	Y	Y		Y	Y
3. The location and character of the proposed use are considered to be consistent with a desirable pattern of development for the locality in general.	Y	Y		Y	Y
4. The proposed use conforms to the comprehensive land use for the County.	Y	Y		Y	Y
5. Proper notice has been given to those people required under Minnesota Statutes, Chapter 394, of the proposed use and of the hearing before the Planning Commission.	Y	Y		Y	Y
6. That other applicable requirements of this ordinance, or other ordinances of the County have been met.	Y	Y		Y	Y
7. The proposed use is not injurious to the public health, safety and general welfare.	Y	Y		Y	Y

Special conditions found by the Planning Commission: w/ 2 conditions

If all answers are **"Yes"** by a majority of the Planning Commission, the criteria for granting the Conditional Use Permit have been met.

DATE 21 July 25

APPROVED DENIED

 CHAIRPERSON
 AITKIN COUNTY PLANNING COMMISSION

NOTICE OF DECISION for

STATE OF MINNESOTA
COUNTY OF AITKIN

AITKIN COUNTY PLANNING COMMISSION
CONDITIONAL USE PERMIT (C.U.P.)/REZONING PROCEEDINGS

IN THE MATTER OF ^{App} ~~PERMIT~~ NUMBER: 2025-000306

C.U.P. REZONING Denied or Approved (Circle one)

APPLICANT OR AUTHORIZED REPRESENTATIVE:

Name Jason Kadelbach

Mailing Address 48663 216th Pl

City, State, Zip McGregor Mn 55760

The above entitled matter came to be heard before the Planning Commission on the 16 day of June, 2025, on a petition for a C.U.P. REZONING pursuant to the Aitkin County Zoning Ordinance, for the following described parcel of land: PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR IN 480899, Section 19, Township 48, Range 23, Aitkin County, MN.

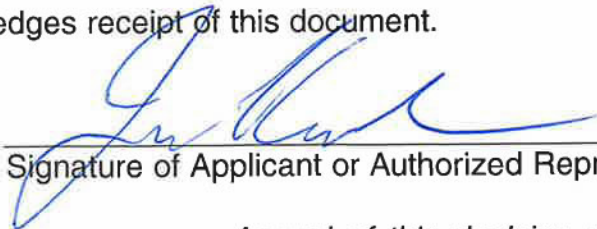
It is ordered that a C.U.P. Rezoning BE granted upon the following conditions or reasons (if any):

**FINDINGS OF FACTS or CONDITIONS (if any)
WILL BE FORTHCOMING ON THE RECORDING DOCUMENT**

DATED THIS 16 DAY OF June, 2025.


Chairperson of the Planning Commission or
Authorized Representative

Applicant or Authorized Representative acknowledges receipt of this document.


Signature of Applicant or Authorized Representative

THIS INSTRUMENT WAS DRAFTED BY:
AITKIN COUNTY ZONING ADMINISTRATOR
COURTHOUSE
AITKIN, MINNESOTA 56431

*Appeal of this decision shall be by
Writ of Certiorari to the Minnesota
Court of Appeals within 30 days of
the Planning Commission's decision.*

AITKIN COUNTY ZONING

PERMIT NUMBER **49717C** THIS IS NOT A CONSTRUCTION PERMIT

PARCEL NUMBER 22-0-028802

Location _____
Lot _____ Block _____ Gov't. Lot _____ Section 19 Twp. 48 Rge. 23

PT OF N 850 FT OF W 2007 FT OF N 1/2 OF NW, LYING EAST OF LINE DESCR
IN 480899
Issued July 21, 2025 To Jason Kadelbach

Nature of Authorization Conditional Use Permit to allow a residential dwelling
and a land surveying office with living quarters in an area zoned Commercial.

New Construction _____ Alteration _____ (2) conditions (see attached) NOTE:

Sewer Installation _____

Flood Plain and Lowest Floor Elev. _____

This permit must be posted in a conspicuous place on premises on which work is to be done and remain until work has been completed and inspected.

~~This permit expires one year from date of issuance.~~

S. Wiebusch
ZONING ADMINISTRATOR

No Portion of any Sewage Disposal System shall be Covered Prior to Inspection.

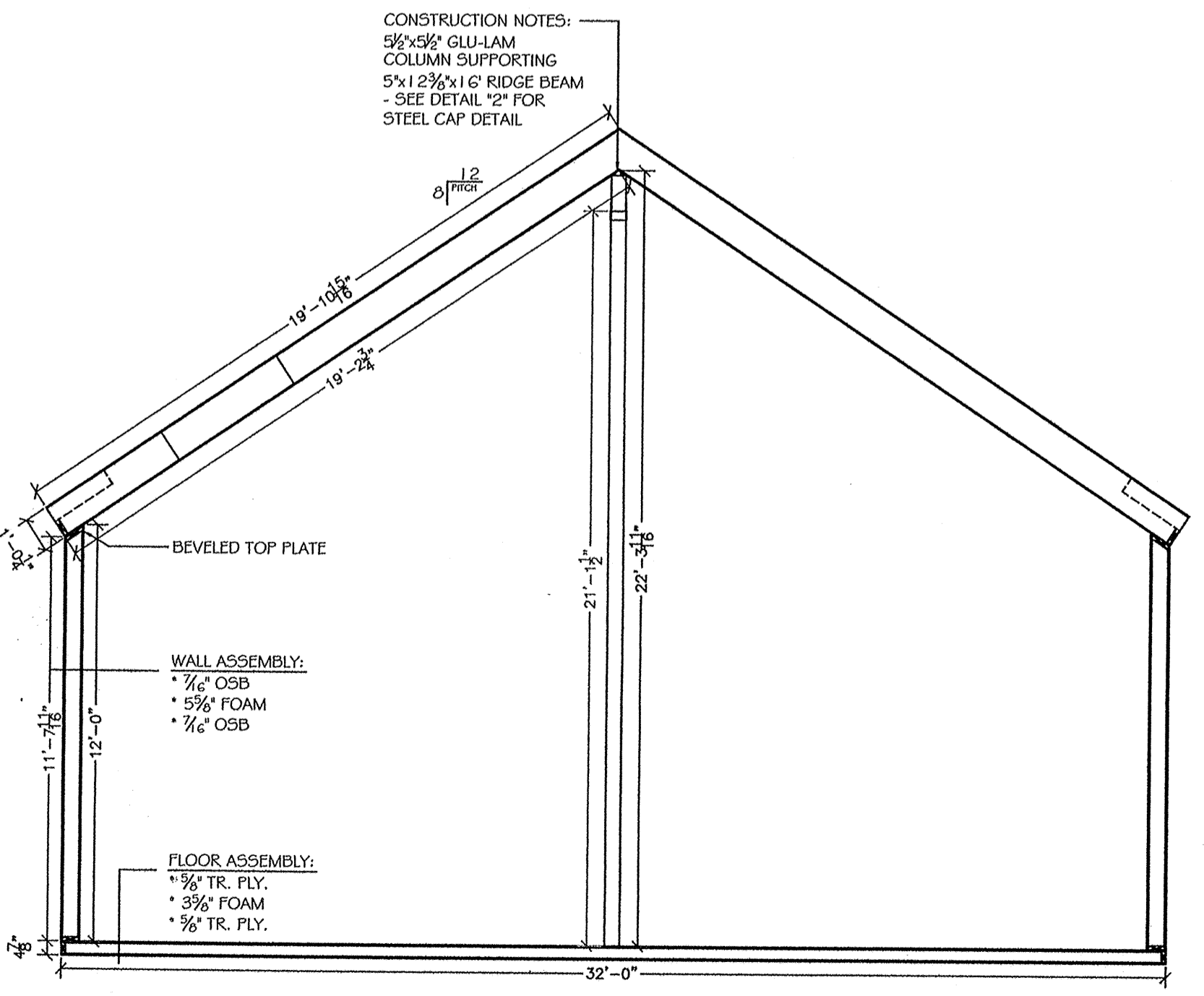
Conditions for Jason Kadelbach #2025-000306

1. Must comply with all local, state and federal regulations that pertain to this type of proposal.
2. Must work with Aitkin County Wetland Specialist with any anticipated impacts to parcel wetlands

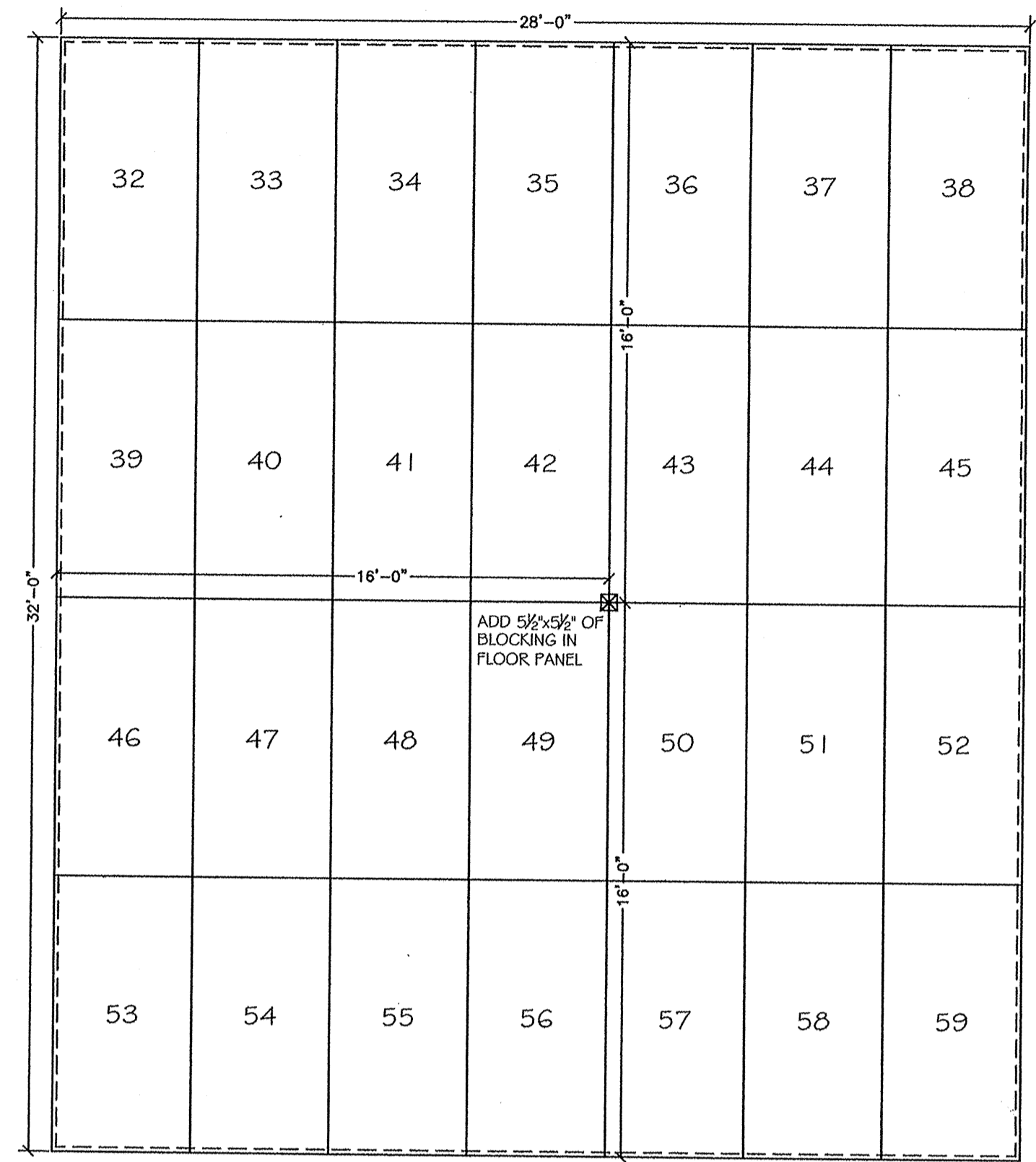
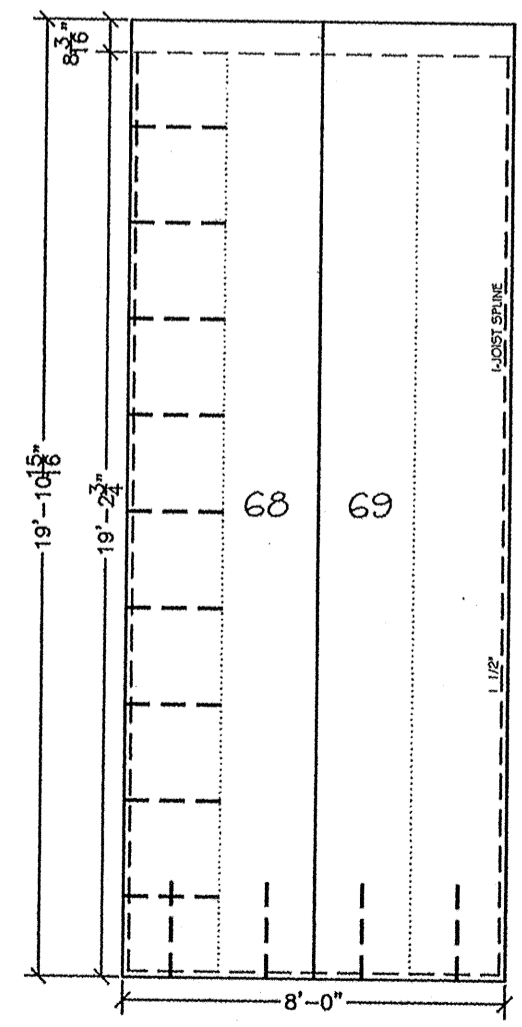
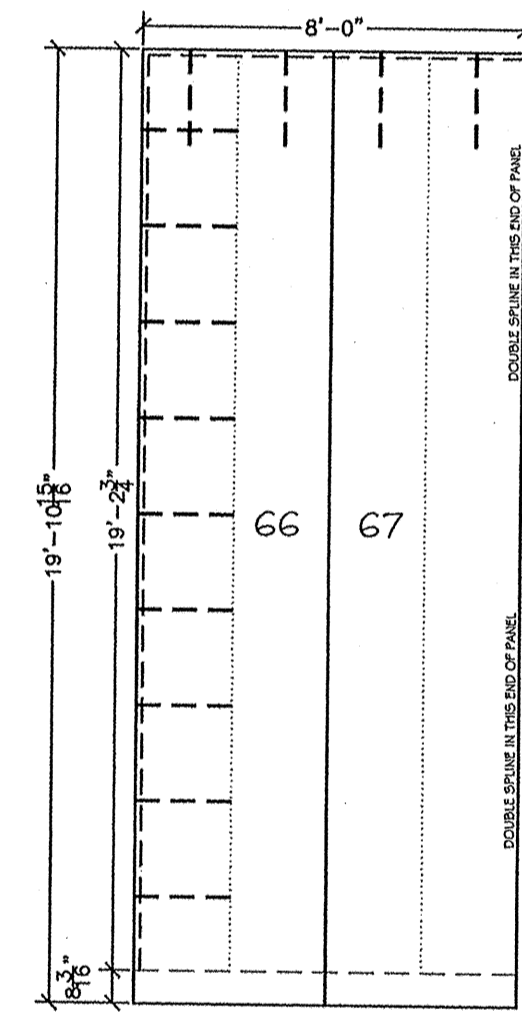
- KEY:**
- WALLS ARE TIPPED OUT TO SHOW THE PANELS INTERIOR SKIN
 - ROOF & FLOORS ARE LAID OUT TO SHOW THE PANELS TOP SKIN
 - BLACK SOLID LINES SHOW OUTLINE OF INSULATED PANEL
 - BLACK DASHED LINE SHOWS TOP / INSIDE SKIN CUT BACK
 - GREEN DASHED LINE SHOWS BOTTOM / OUTSIDE SKIN CUT BACK
 - RED DASHED LINE REPRESENTS 1/2" FOAM SETBACK INTO PANEL FOR LUMBER UNLESS OTHERWISE NOTED
 - LIGHT CYAN DOTTED LINE SHOWS LOCATION OF ELECTRICAL CHASES
 - LIGHT GRAY LINES SHOW IMPORTANT REFERENCE POINTS OF THE PROJECT
 - LIGHT GRAY DASHED LINE SHOWS USE OF BASE PLATE & TOP SHIM PLATE
 - RED (X) SHOWS THE LOCATION OF A REQUIRED STRUCTURAL POINT

- ↔ 0'-0" ↔ RED DIMENSIONS SHOW LOCATION OF A REQUIRED STRUCTURAL BEARING POINT
- ↔ 0'-0" ↔ LIGHT GRAY DIMENSIONS SHOW LOCATION OF REFERENCE POINTS OF THE PROJECT
- ↔ 0'-0" ↔ BLACK DIMENSIONS SHOW CUSTOMER REFERENCE POINTS OF THE PROJECT
- ↔ 0'-0" ↔ GREEN DIMENSIONS SHOW LENGTHS OF MISC. DIMENSIONAL LUMBER
- ↔ 0'-0" ↔ BLUE DIMENSIONS SHOW SIZE AND LOCATION OF PANELS WITH PRECUTS
- ↔ 0'-0" ↔ MAGENTA DIMENSIONS SHOW LENGTHS OF OUTSIDE SKIN OF WALL PANELS AND BOTTOM SKIN OF ROOF PANELS
- ↔ 0'-0" ↔ LIGHT CYAN DIMENSIONS SHOW LOCATION OF NON-TYPICAL ELECTRICAL CHASES

NOTES:
 FOR ALL CONSTRUCTION DETAILS ON CONNECTIONS, BUILDER NEEDS TO REFER TO EXTREME PANELS CONSTRUCTION GUIDE FOR FASTENING SPECIFICATIONS. IF FOR ANY REASON THIS IS NOT ADEQUATE, PLEASE CALL EXTREME PANELS AT 800-977-2635 WITH ANY QUESTIONS. IT IS VERY IMPORTANT THAT BUILDER UNDERSTANDS ALL DETAILS OF EXTREME PANELS CONSTRUCTION GUIDE.

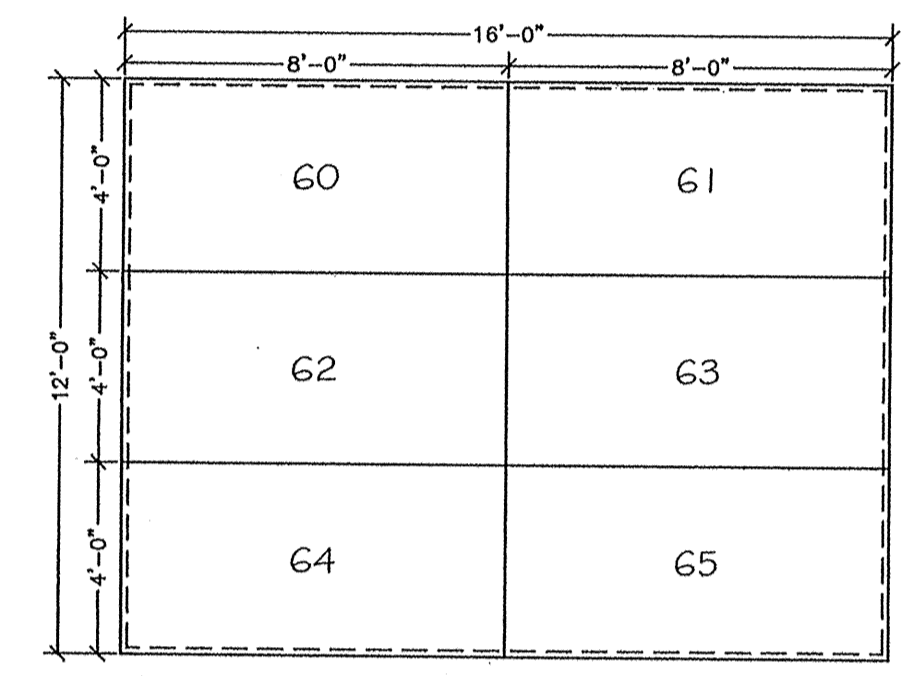


A BUILDING SECTION
 SCALE: 1/4" = 1'-0"



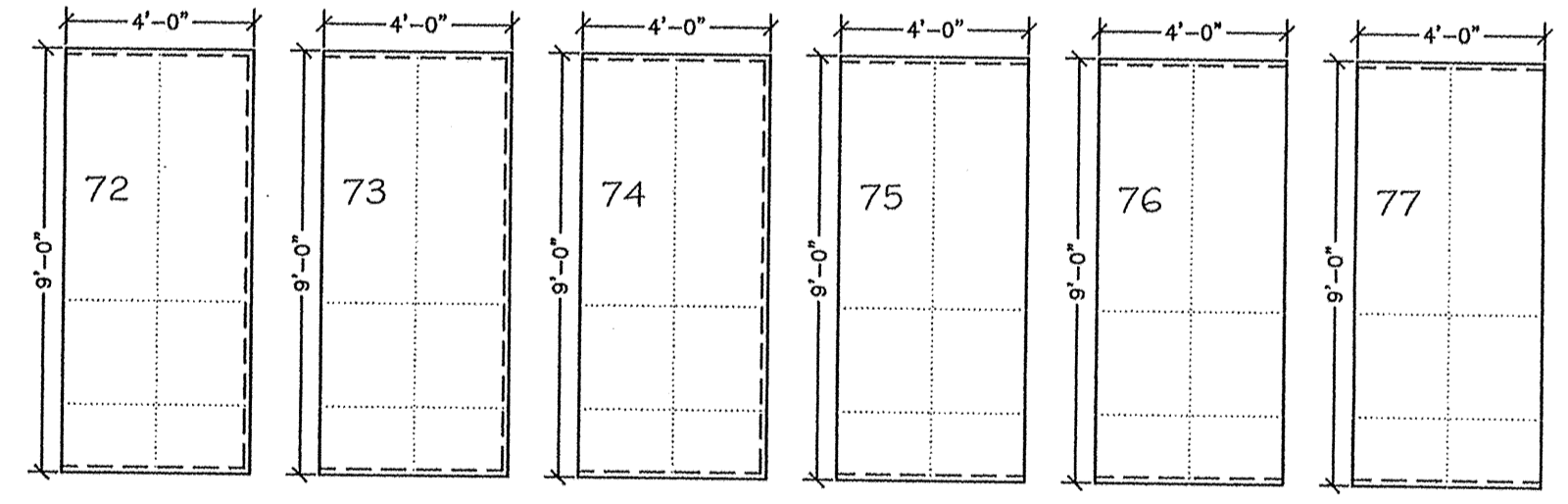
CONSTRUCTION NOTES:
 * FLOOR PANELS CONSIST OF 3/4" TR. FLY., 3" FOAM, 3/4" C-UNDERLAYMENT
 * PANEL CONNECTIONS ARE REGULAR PLYWOOD SPLINES - TOP SPLINE ONLY
 * 2x4x12 SPP USED FOR PERIMETER LUMBER

FLOOR PANEL LAYOUT - DISPLAY
 SCALE: 1/4" = 1'-0"



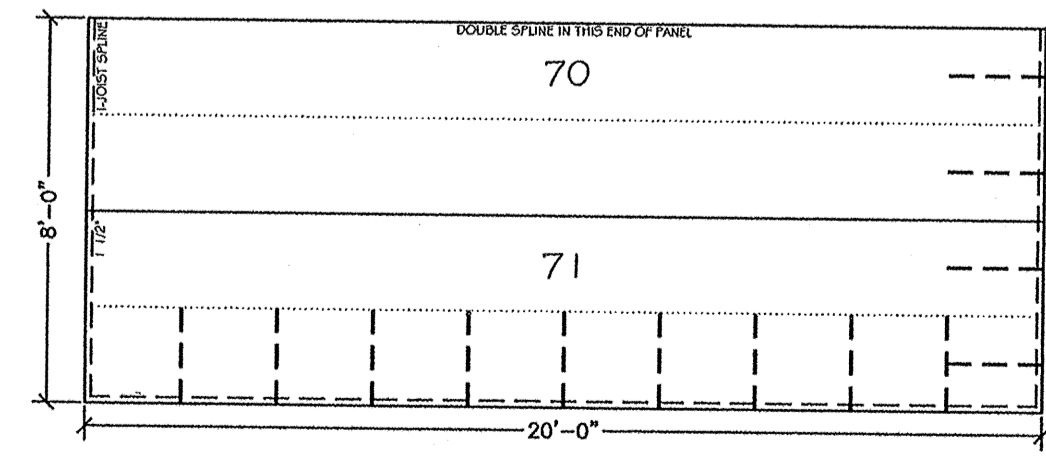
CONSTRUCTION NOTES:
 * FLOOR PANELS CONSIST OF 3/4" TR. FLY., 5" FOAM, 3/4" C-UNDERLAYMENT
 * PANEL CONNECTIONS ARE REGULAR PLYWOOD SPLINES
 * 2x6x12 SPP USED FOR PERIMETER LUMBER

FLOOR PANEL LAYOUT - STAGE
 SCALE: 1/4" = 1'-0"



CONSTRUCTION NOTES:
 * WALL PANELS CONSIST OF 7/8" OSB, 5 3/8" FOAM, 7/8" OSB
 * ELECTRICAL CHASES ARE FACTORY INSTALLED
 * PANEL CONNECTIONS ARE REGULAR PLYWOOD SPLINES
 * 2x6x12 SPP USED FOR CORNERS, DOORS, WINDOWS, SILL

WALL PANEL LAYOUT
 SCALE: 1/4" = 1'-0"



CONSTRUCTION NOTES:
 * ROOF PANELS CONSIST OF 7/8" OSB, 11 3/8" FOAM, 7/8" OSB
 * PANEL CONNECTIONS ARE REGULAR PLYWOOD SPLINES
 * PANEL CONNECTIONS ARE JOIST SPLINES WHERE NOTED
 * 2x6x12 SPP USED FOR TAIL POCKETS
 * 2x6x12 SPP USED FOR FASCIA

ROOF PANEL LAYOUT
 SCALE: 1/4" = 1'-0"

Extreme Panel Technologies, Inc.
 475 E. 4th Street N.
 P.O. Box 435
 Cottonwood, MN 56229
 Ph. 800-977-2635
 Fax: 507-423-5531

Extreme Panel Technologies, Inc.
 QUALITY EFFICIENT BUILDING SYSTEMS

Extreme Panel Technologies, Inc.
 DRAWN FOR: EXTREME PANEL TECHNOLOGIES, INC.
 DRAWN BY: ODS
 PROJECT: STATE FAIR ECO-EXPERIENCE BUILDING
 NOTES: FLOOR & ROOF PANEL LAYOUT DRAWING

Extreme Panel Technologies, Inc.
 DRAWING# 06CS039
 SCALE: 1/4" = 1'-0"

Extreme Panel Technologies, Inc.
 DATE: 06.28.06

Extreme Panel Technologies, Inc.
 PAGE: 2 OF 2 JOB NUMBER: 06-320

Extreme Panel Technologies, Inc.
 FLOOR LOADS
 Live Load:
 Dead Load:

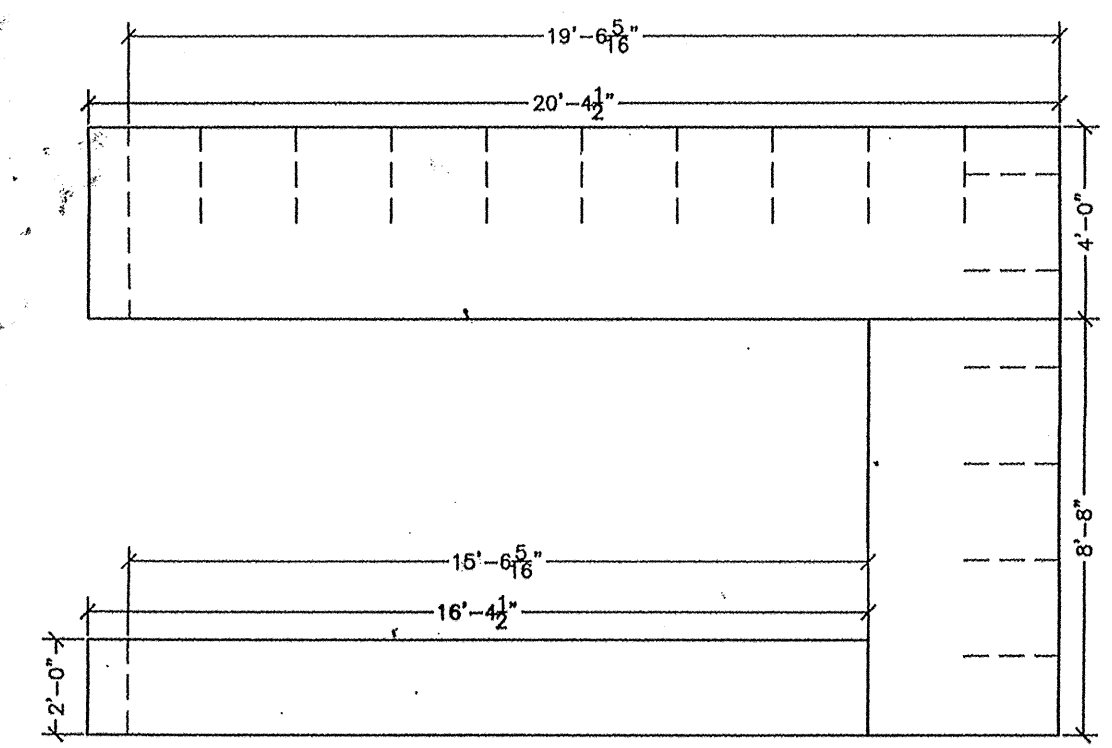
Extreme Panel Technologies, Inc.
 ROOF LOADS
 Live Load:
 Dead Load:

Extreme Panel Technologies, Inc.
 ADDRESS FOR PROJECT
 Name: STATE FAIRGROUNDS
 Address: 1265 SNELLING AVE. N.
 City: ST. PAUL State: MN

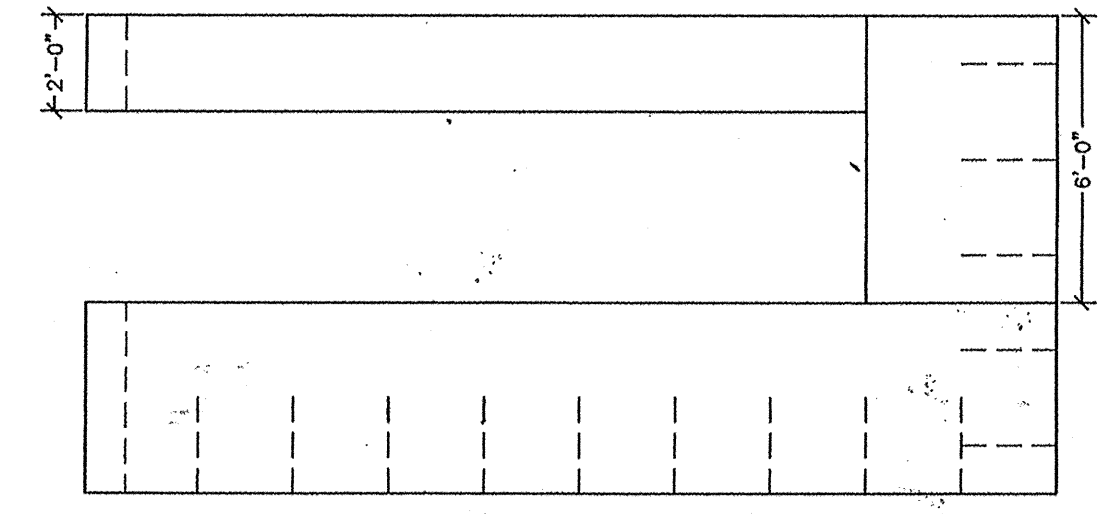
Extreme Panel Technologies, Inc.
 WIND LOAD:

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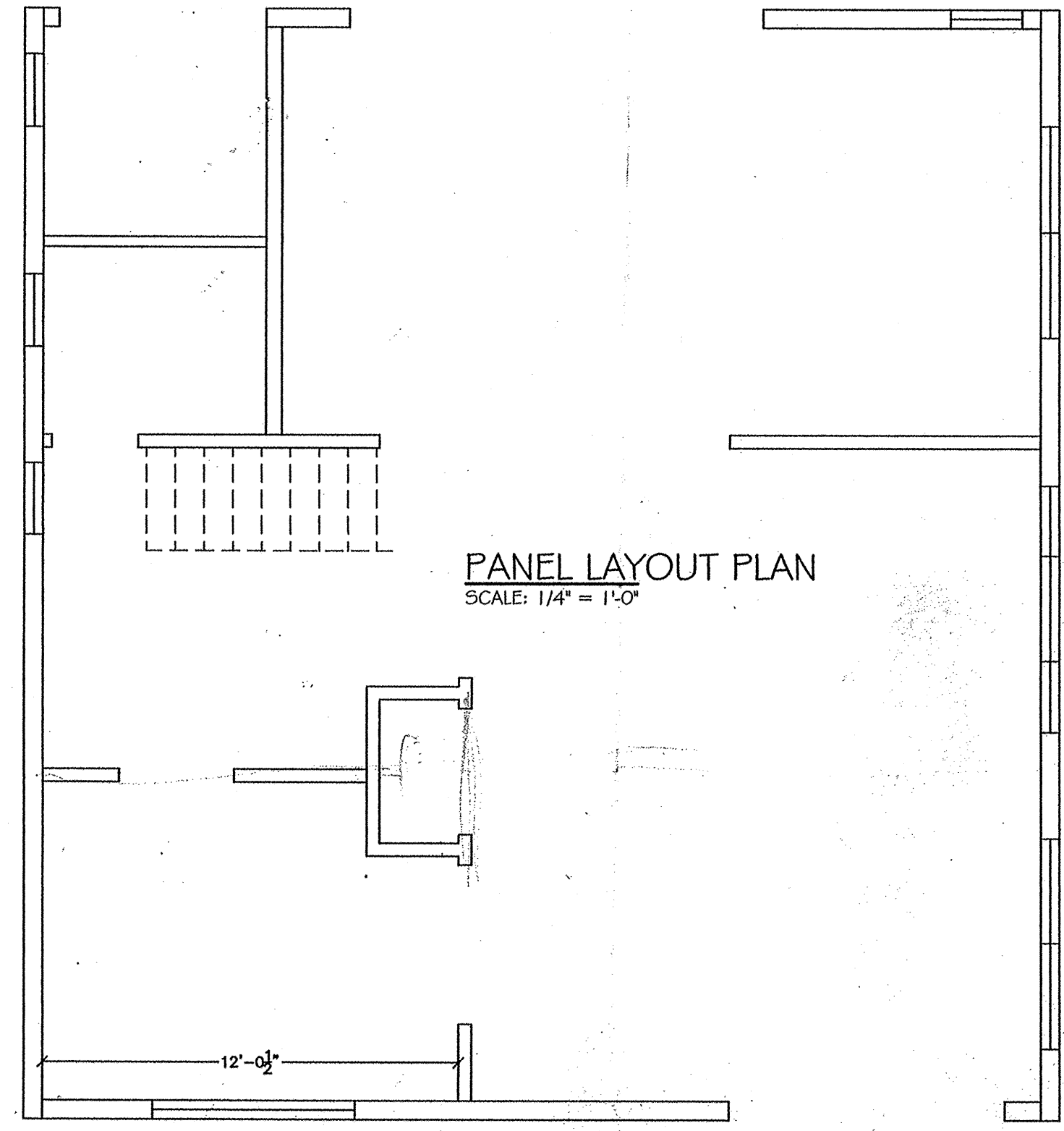
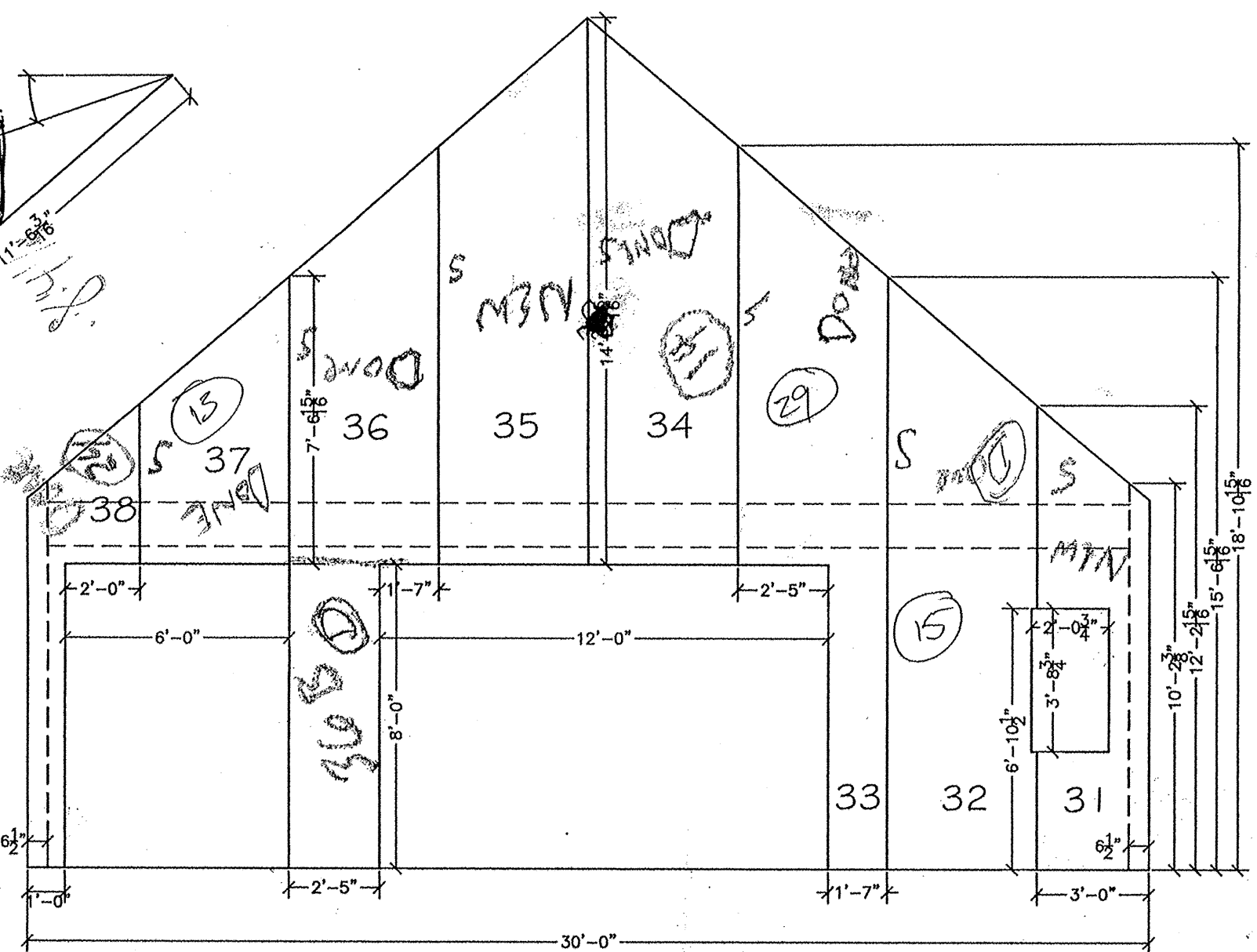
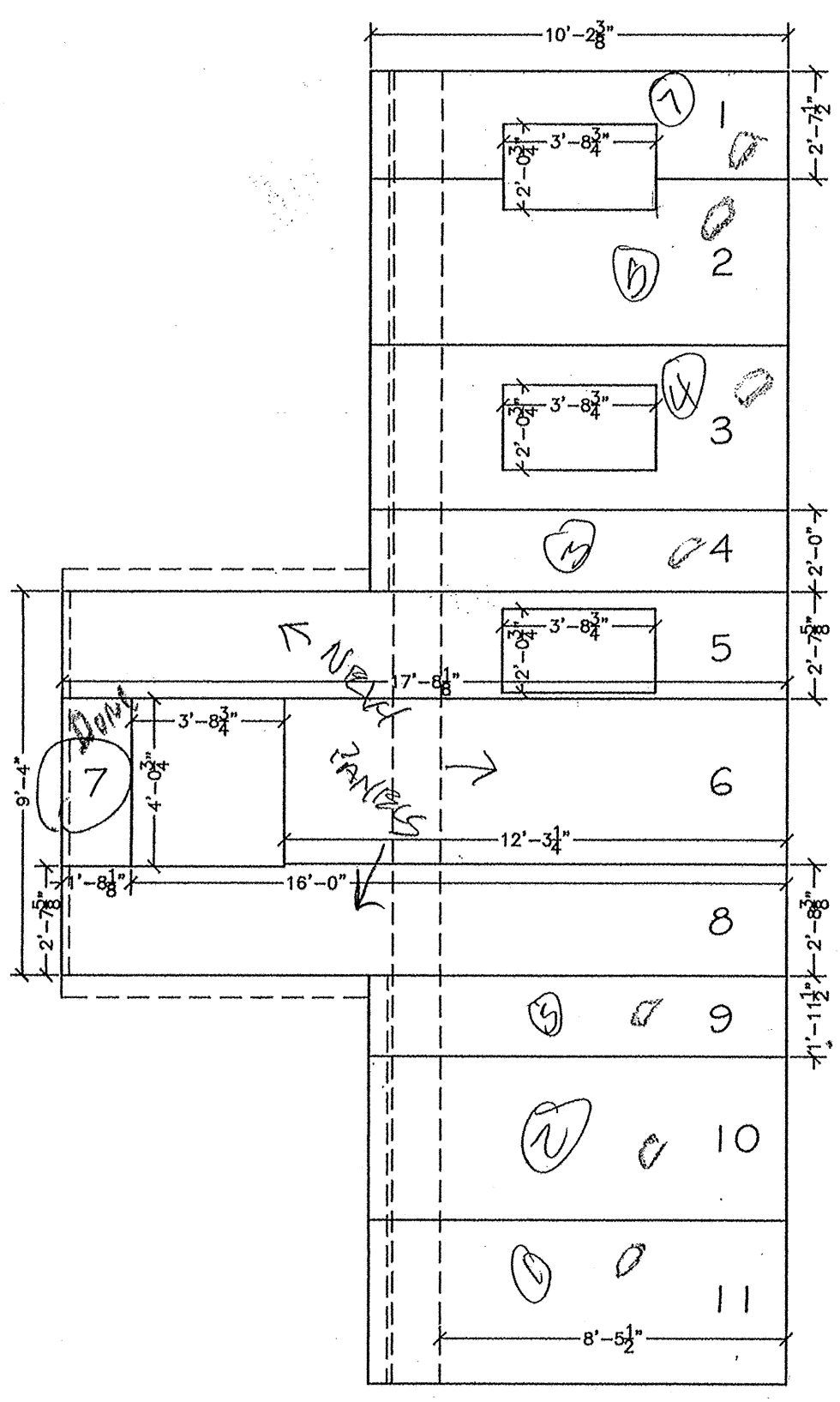
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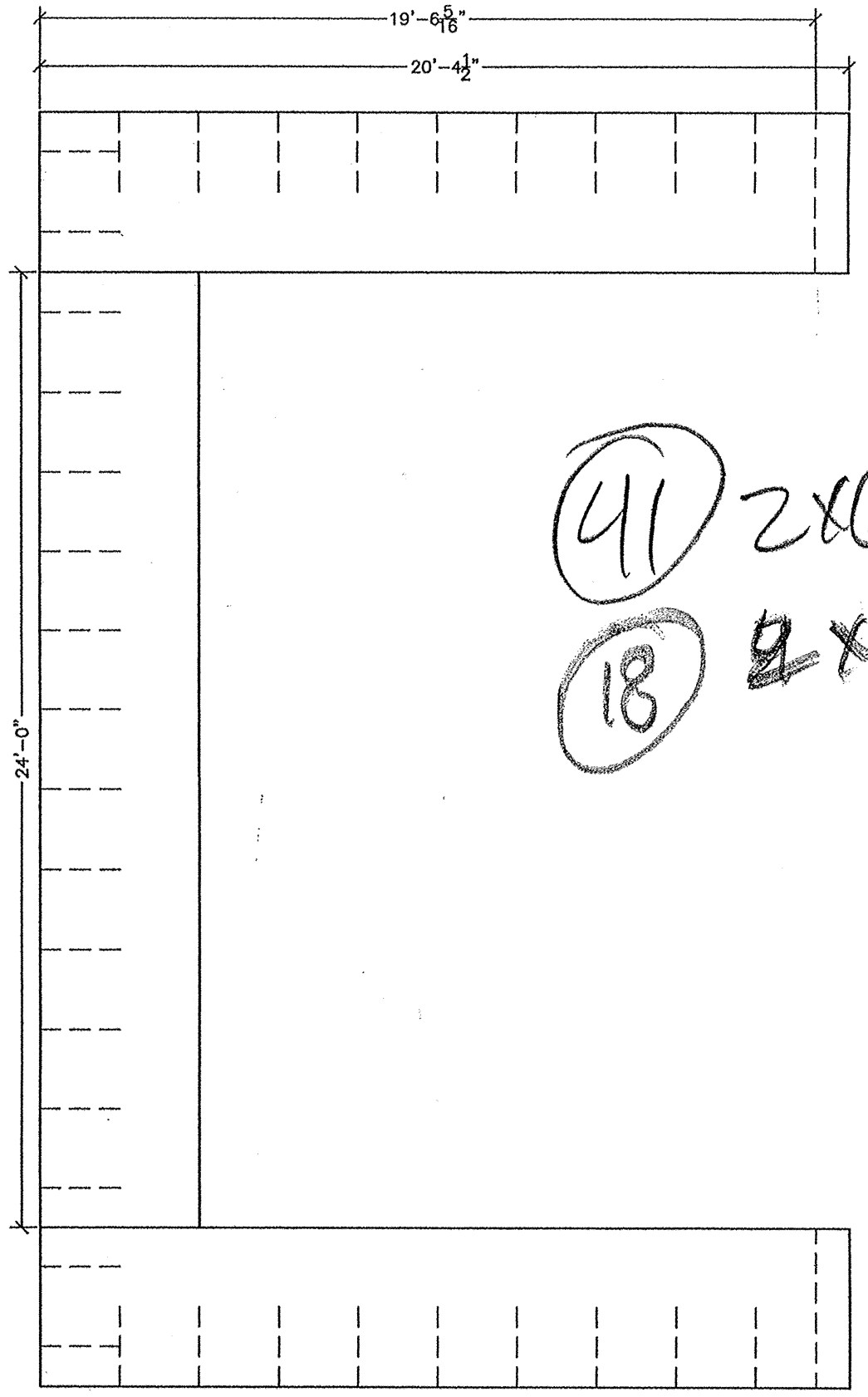
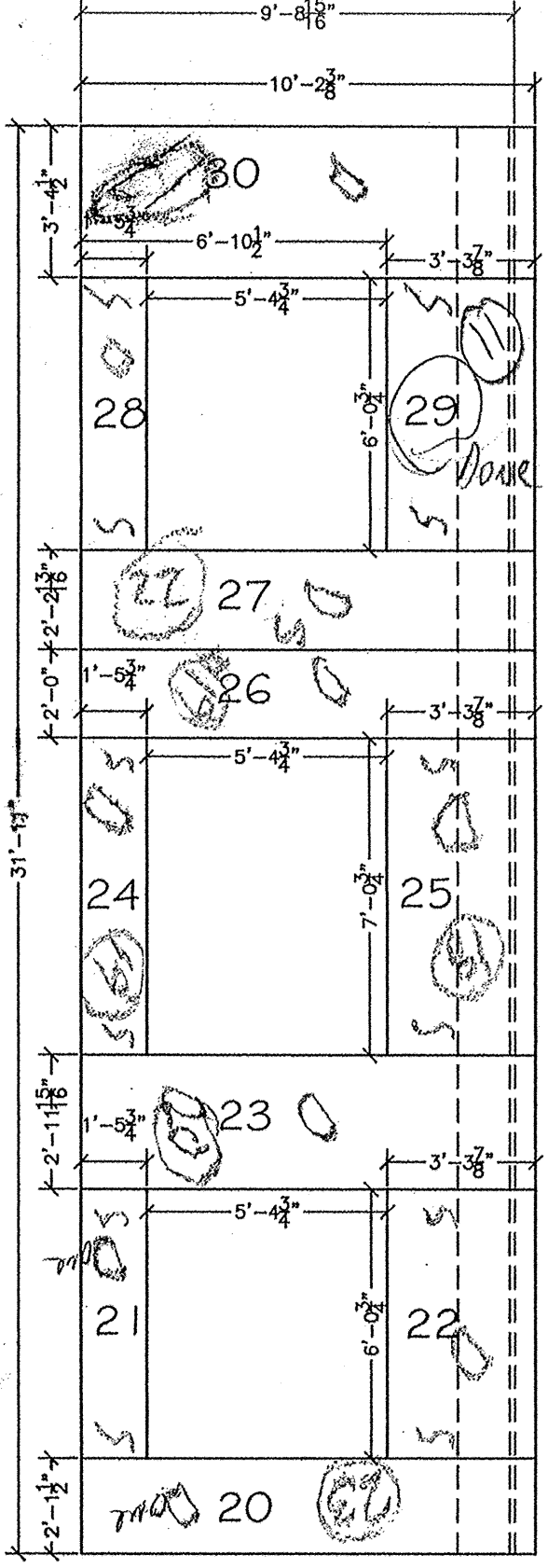
1 2" MAIN STRUCTURE ROOF
 SCALE: 1/4" = 1'-0"



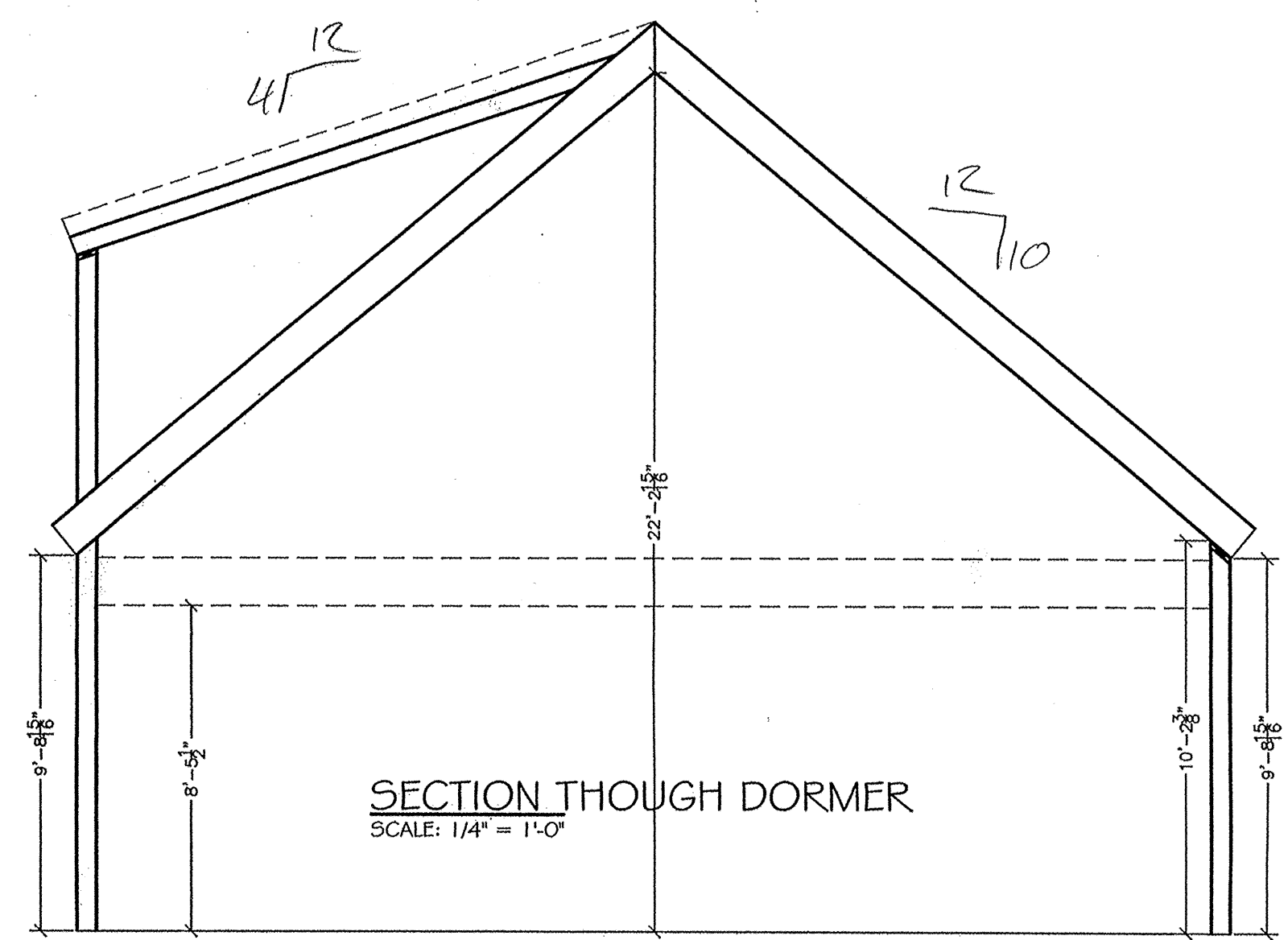
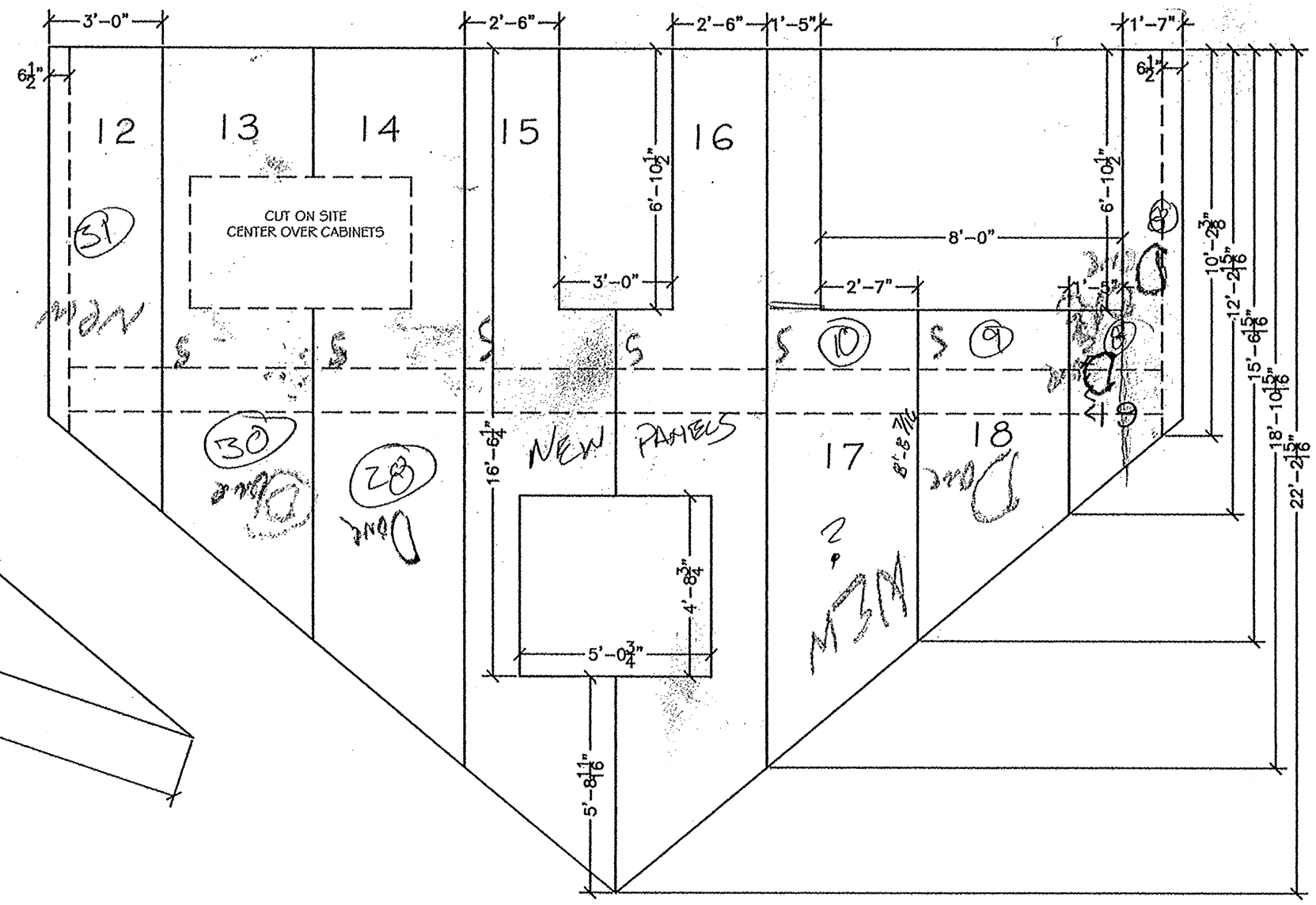
6" DORMER ROOF
 SCALE: 1/4" = 1'-0"



PANEL LAYOUT PLAN
 SCALE: 1/4" = 1'-0"



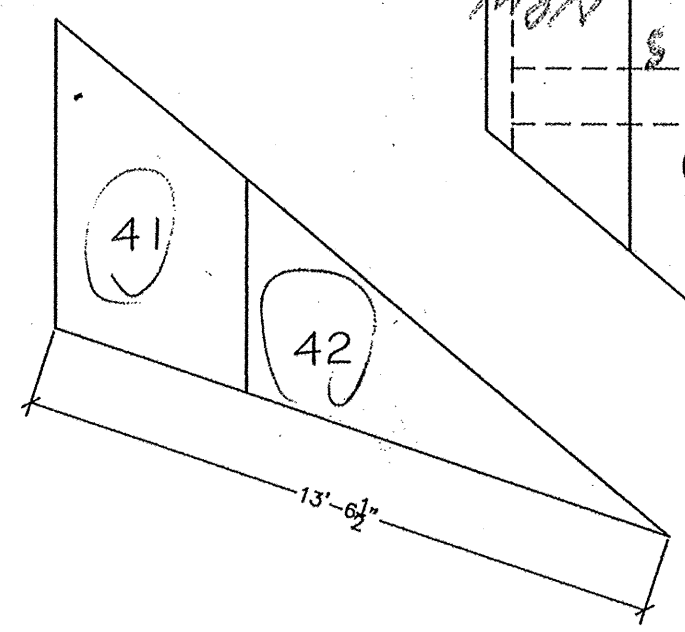
41 2x6x12
 18 2x4x2



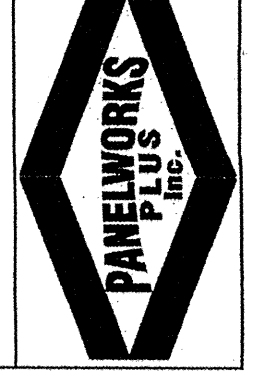
SECTION THOUGH DORMER
 SCALE: 1/4" = 1'-0"

10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42

DORMER
 29
 7
 29

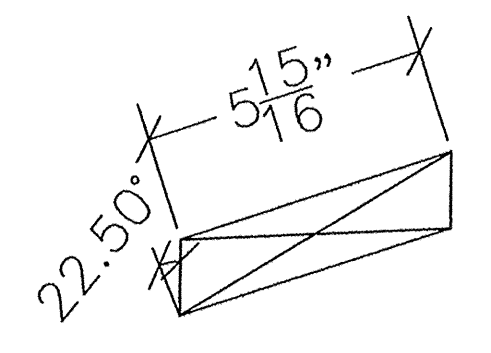
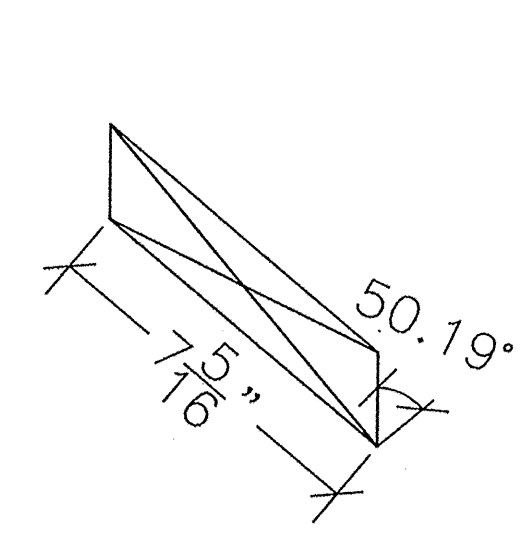
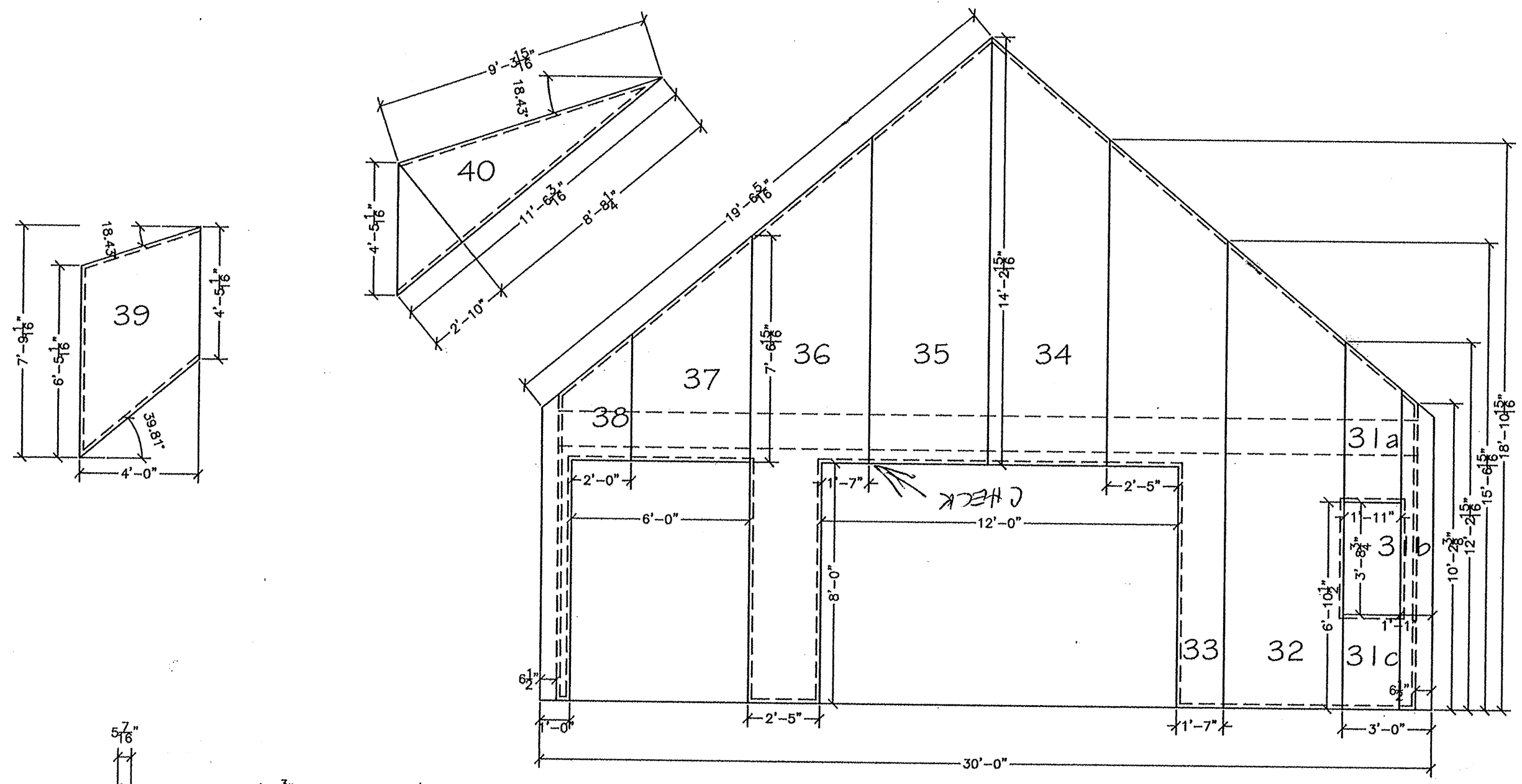


2401 9
 11/13/05



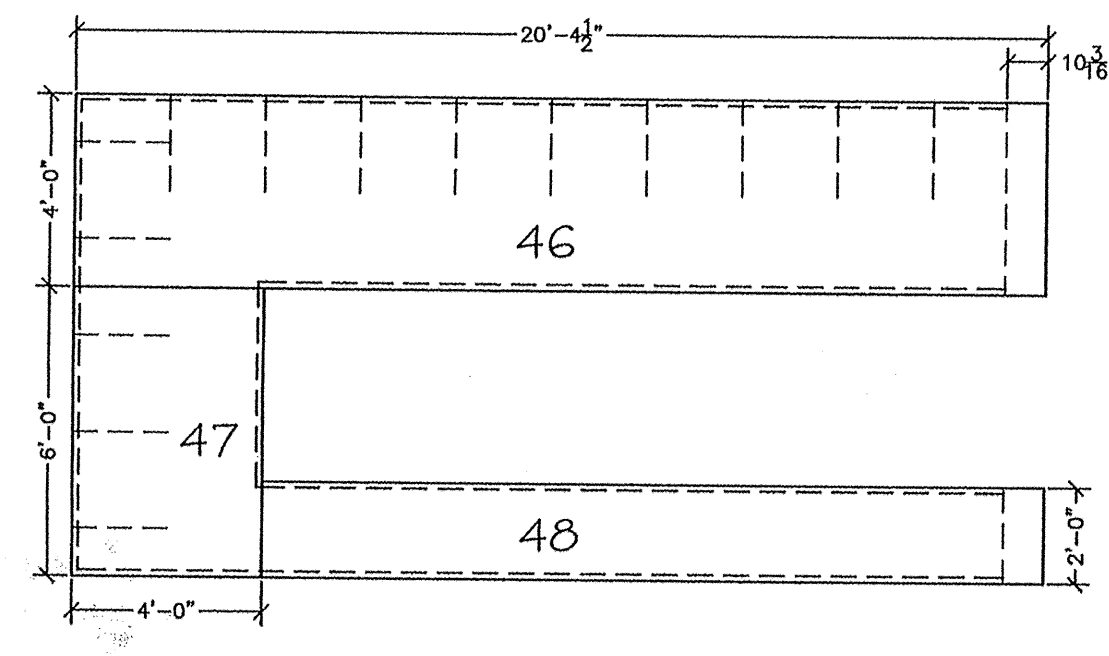
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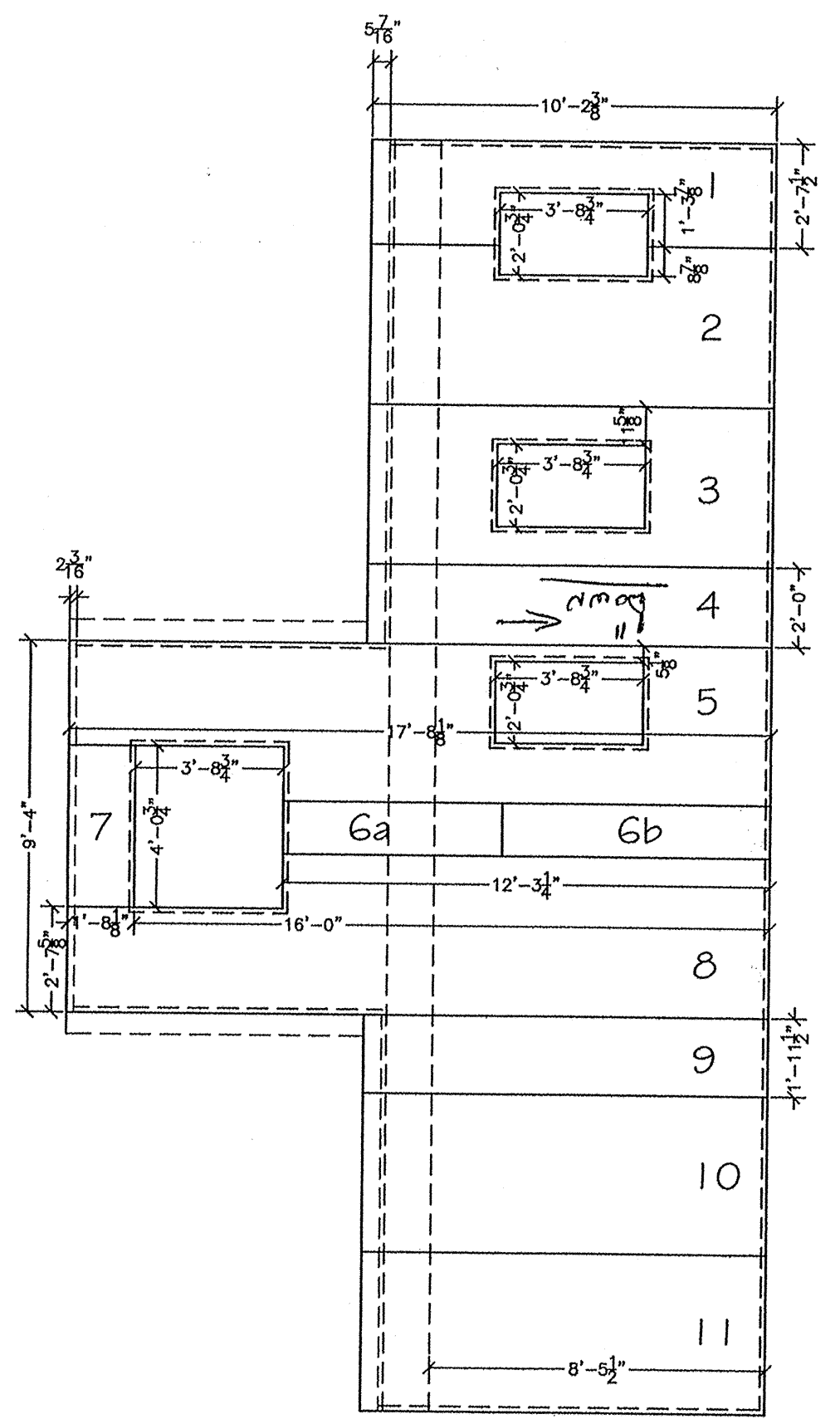
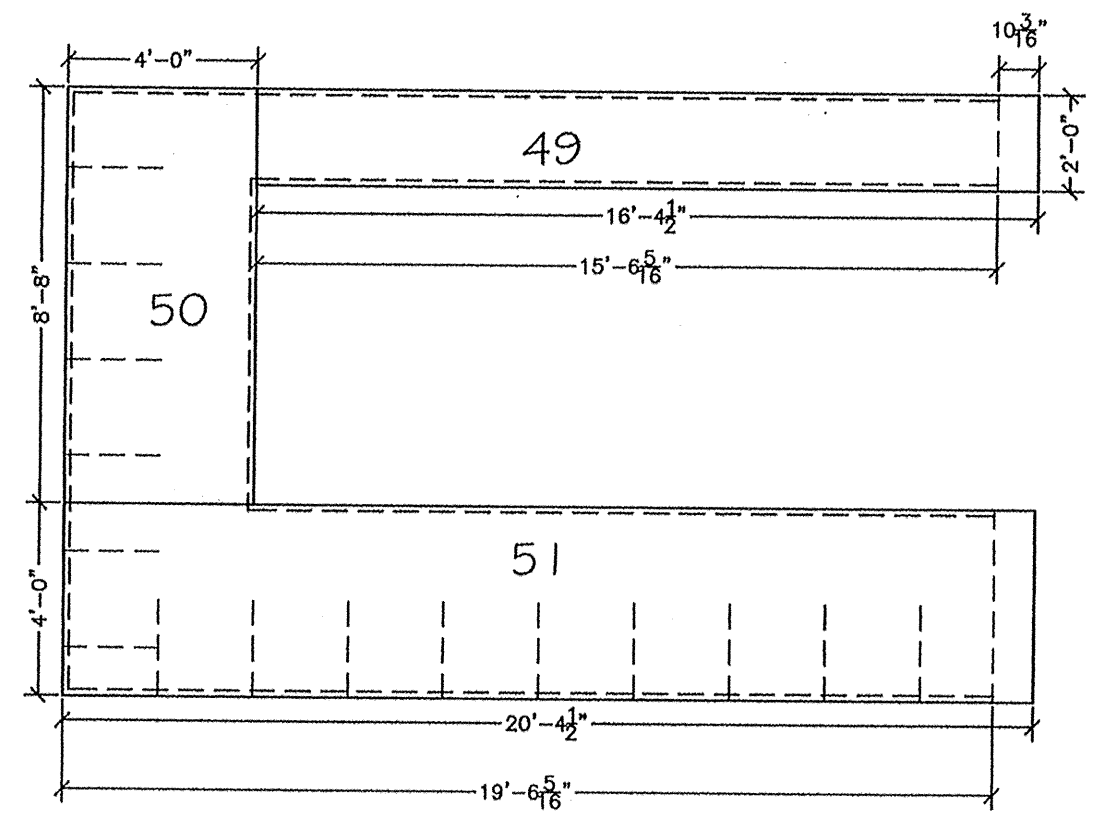


10:12 BEVELED PLATE
SCALE: 3" = 1'-0"

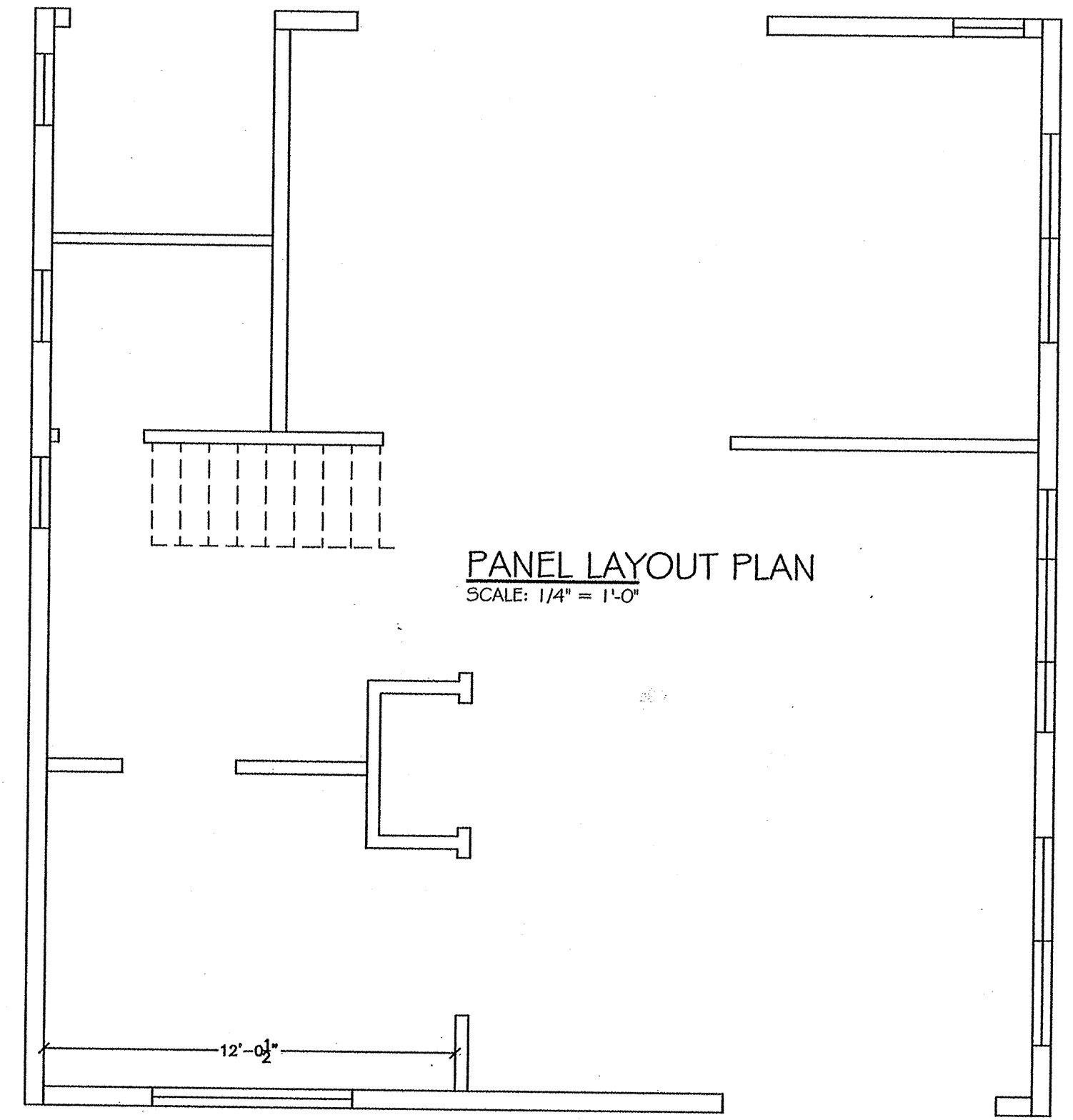
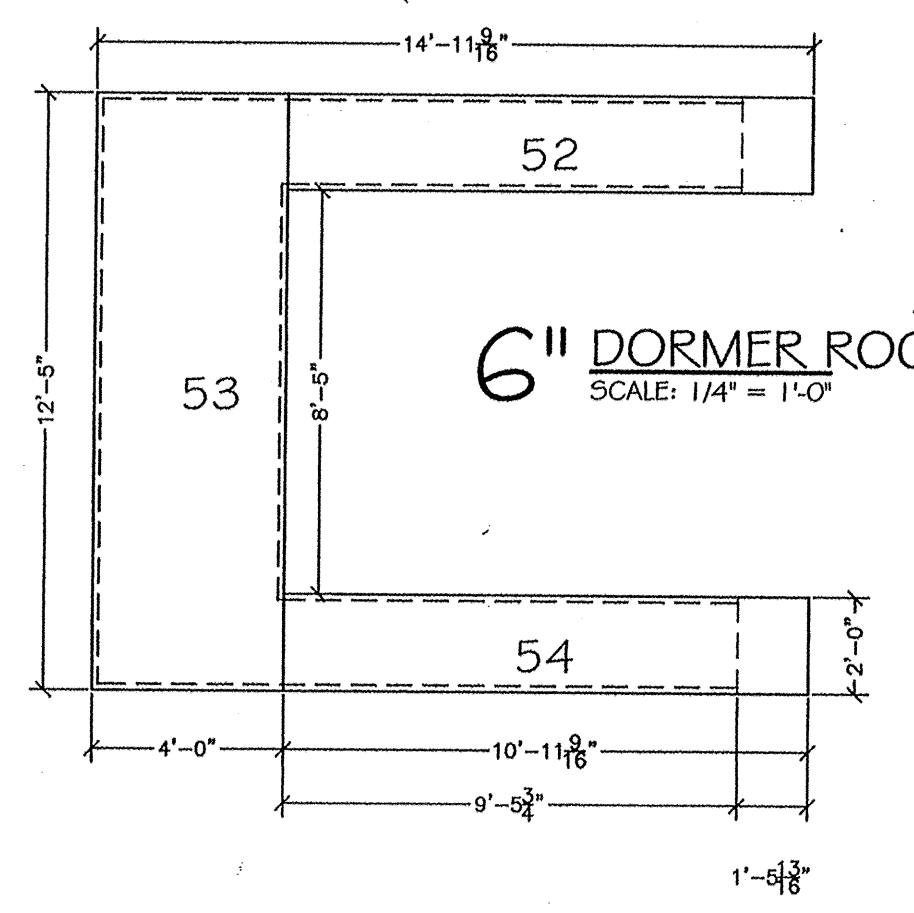
2:4:12 BEVELED PLATE
SCALE: 3" = 1'-0"



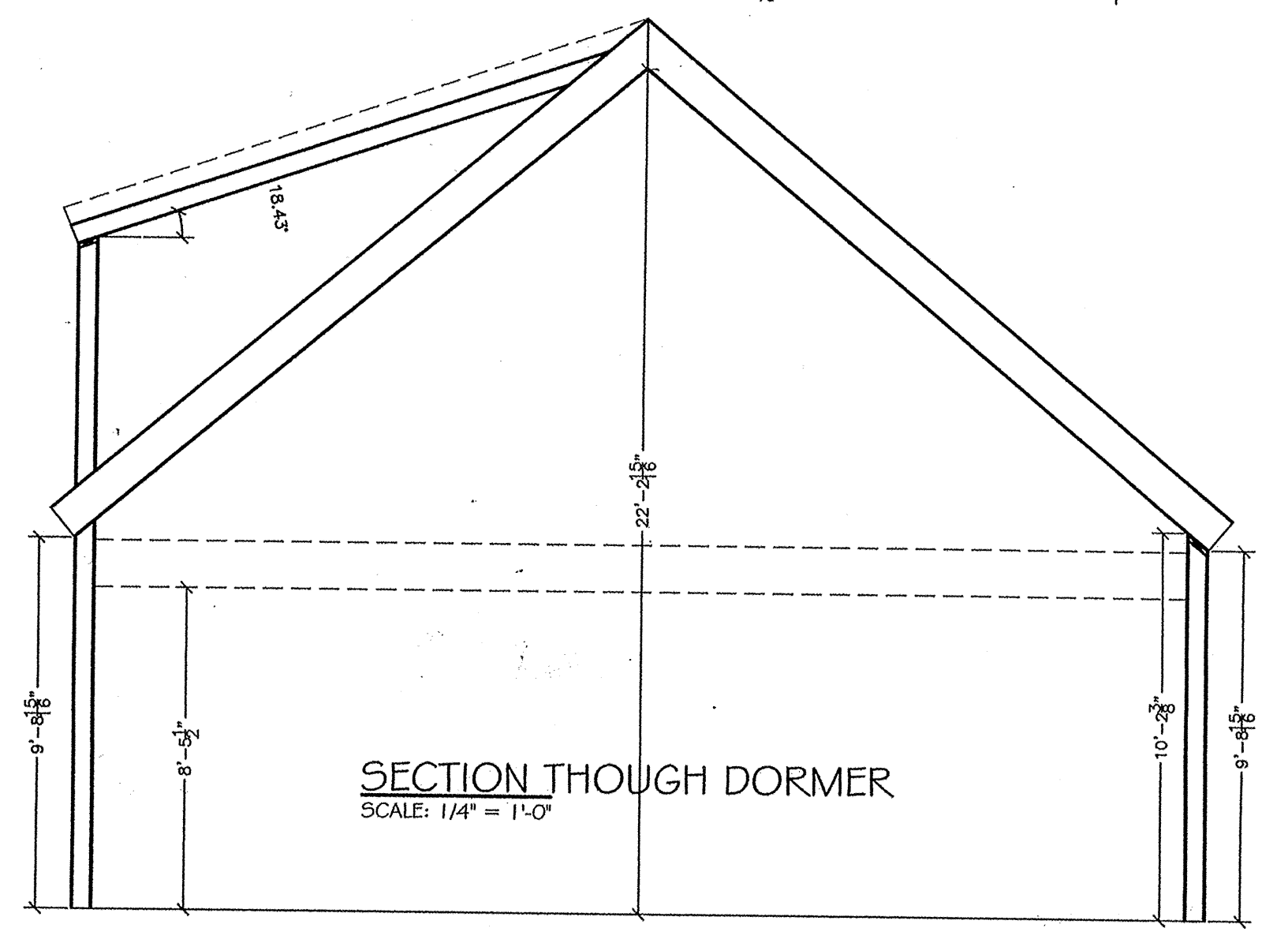
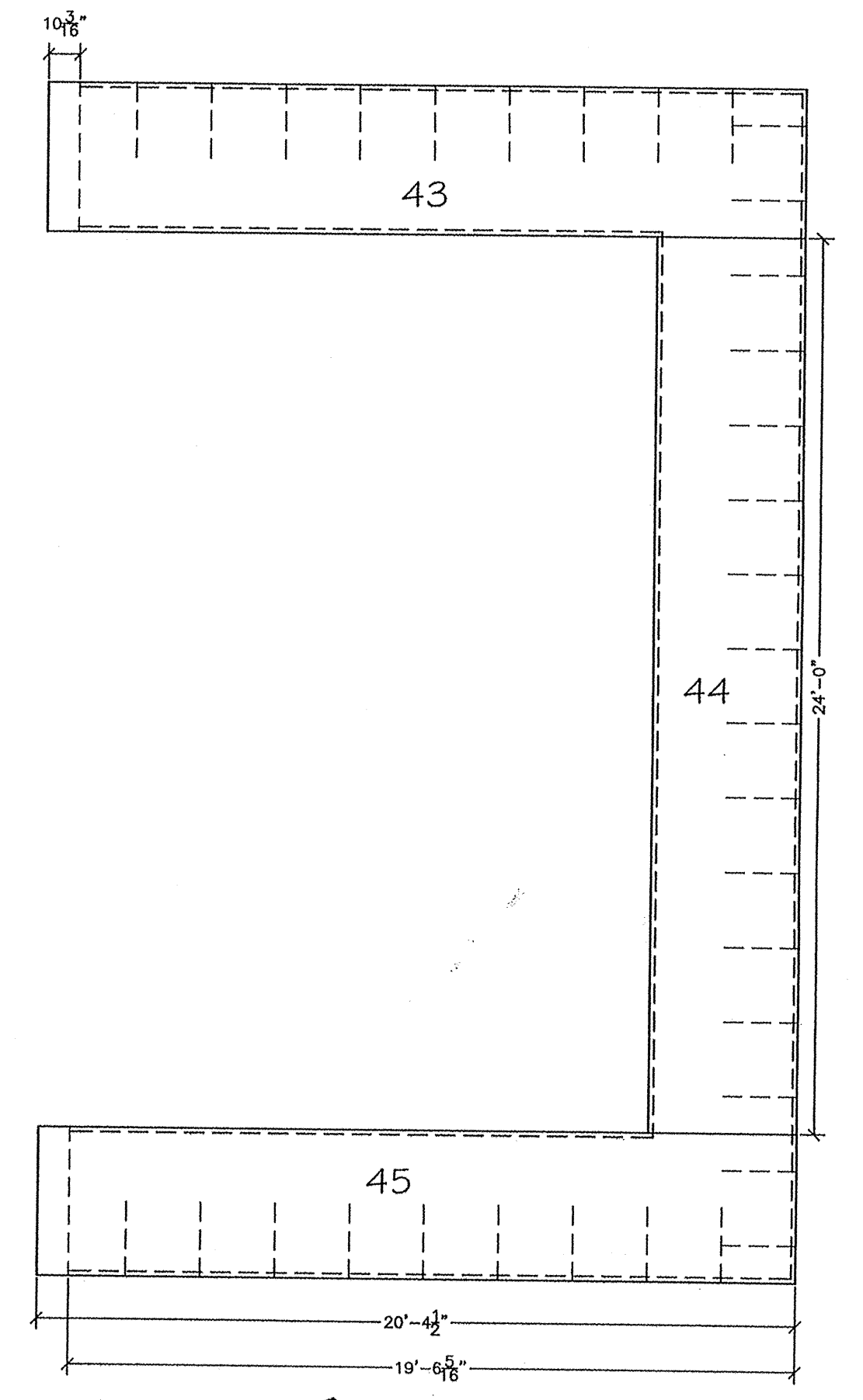
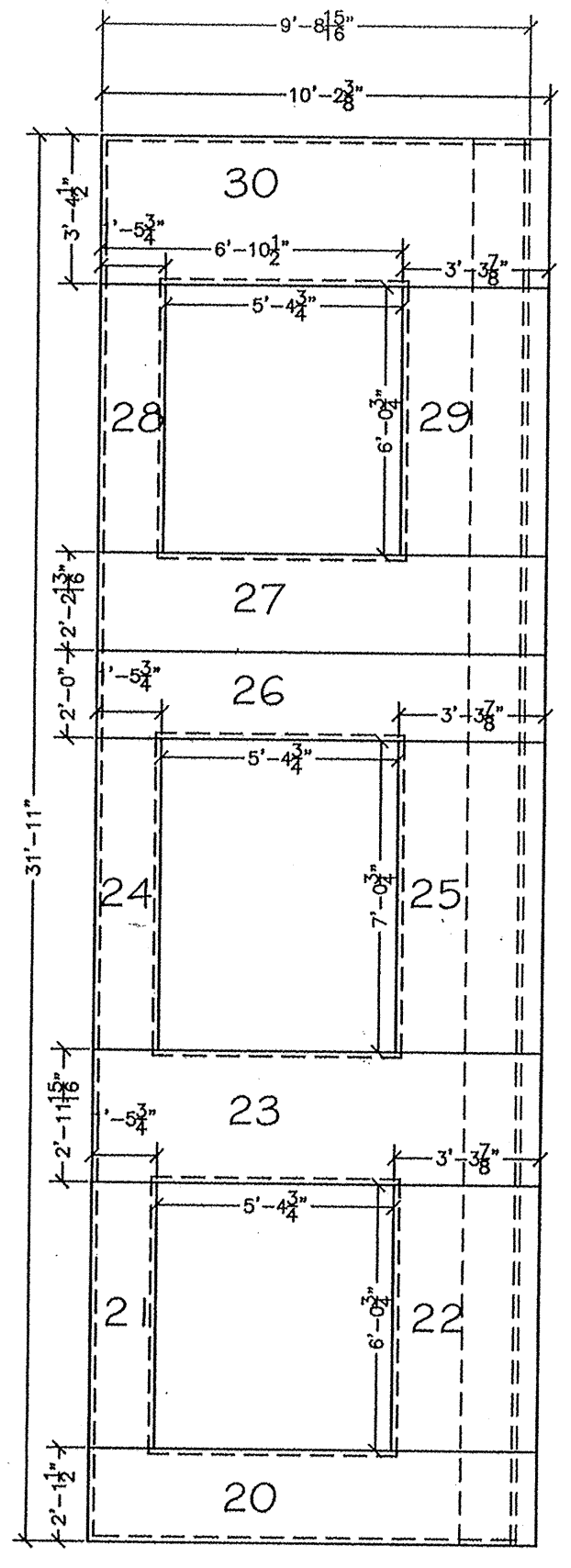
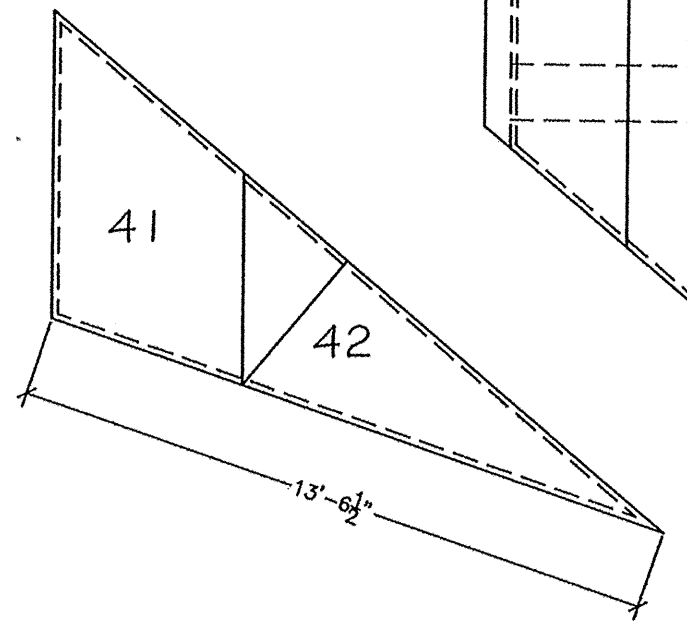
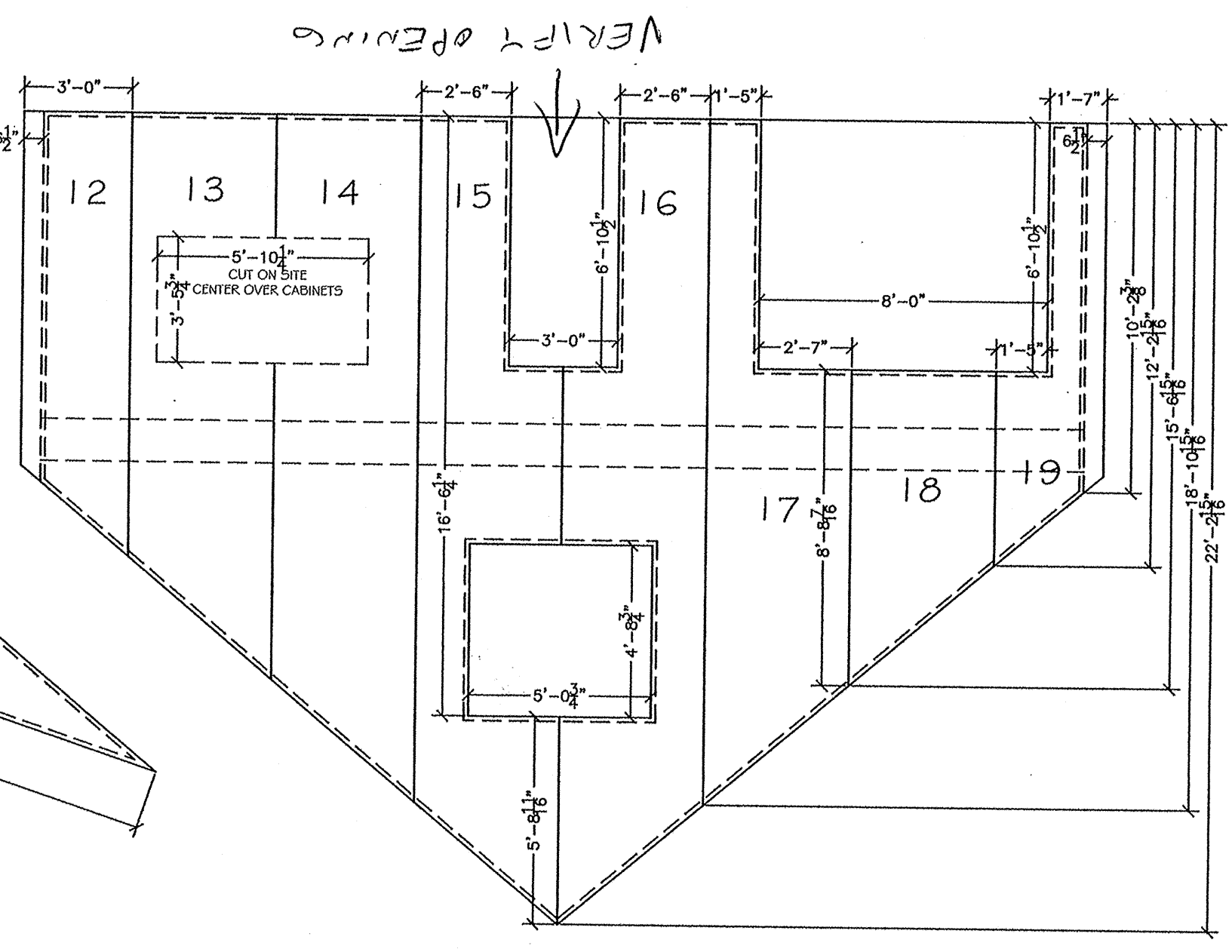
12" MAIN STRUCTURE ROOF
SCALE: 1/4" = 1'-0"



6" DORMER ROOF
SCALE: 1/4" = 1'-0"



PANEL LAYOUT PLAN
SCALE: 1/4" = 1'-0"



SECTION THOUGH DORMER
SCALE: 1/4" = 1'-0"

320-583-3830

ADDRESS FOR PROJECT
 Name: _____
 Address: _____
 City: _____ State: _____

ROOF LOADS
 Live Load: RLL
 Dead Load: RDL

FLOOR LOADS
 Live Load: FLL
 Dead Load: FDL

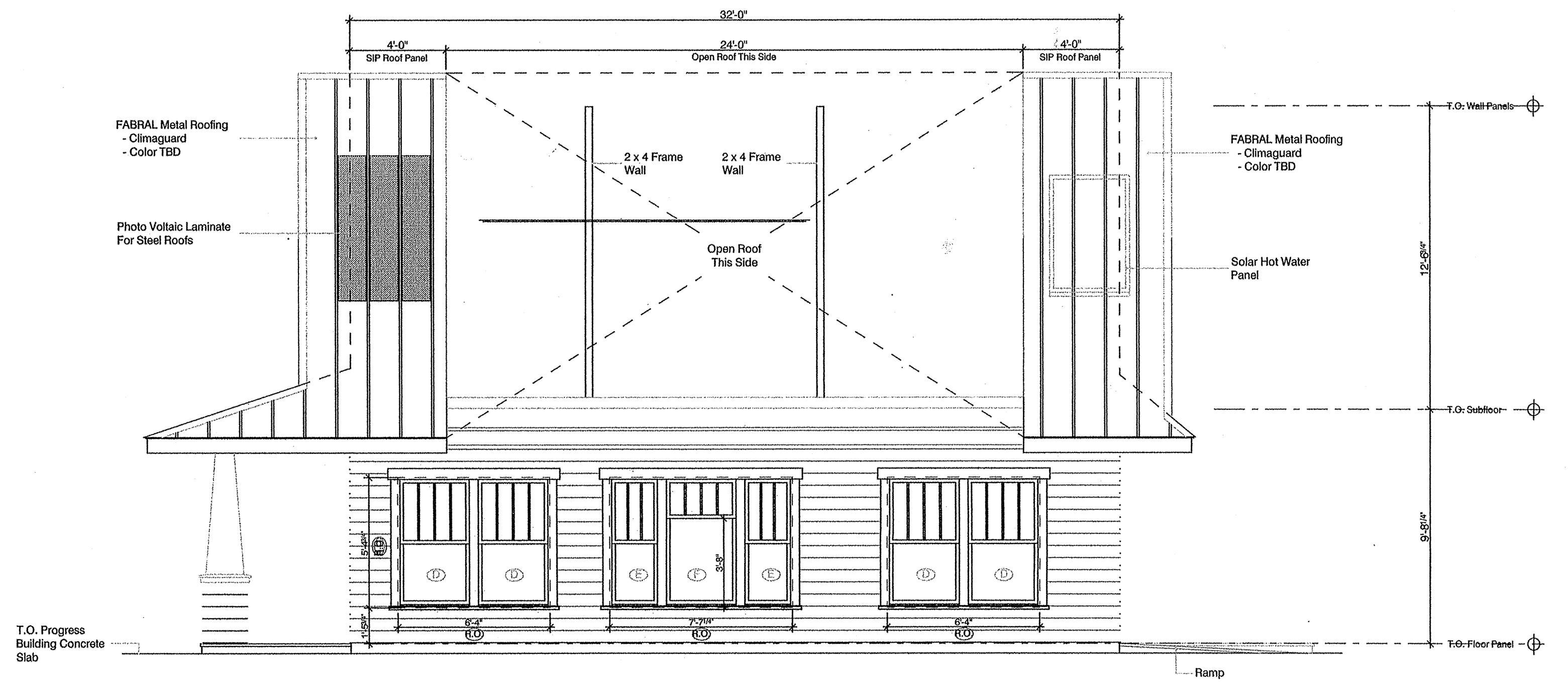
WIND LOAD: WINDLOAD

PAGE: 1 OF 1 JOB NUMBER: JOB# _____ DATE: 6-26-07
 DRAWN FOR: ALL TO ENJOY RET: 6-26-07
 DRAWN BY: ANDY KIDD DRAWING# _____
 PROJECT: STATE FAIR ECO HOUSE 2007 SCALE: 1/4" = 1'-0"
 NOTES: PRELIMINARY

4861 Ambassador Blvd. NW
 St. Francis, MN 55070
 Phone: (763) 218-9064
 Website: www.panelworksplus.com
 E-mail: info@panelworksplus.com
 License #20271555

PANELWORKS PLUS INC.

2169 22 29
 11/2/2019



East Elevation
 SCALE: 1/4"=1'-0"

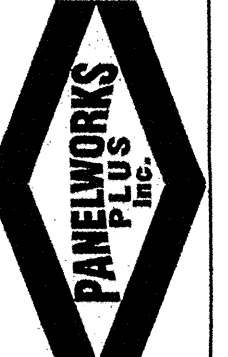
4861 Ambassador Blvd. NW
 Suite 100
 P.O. Box 100
 Vestal, NY 13850
 E-mail: info@panelworksplus.com
 License #20271553

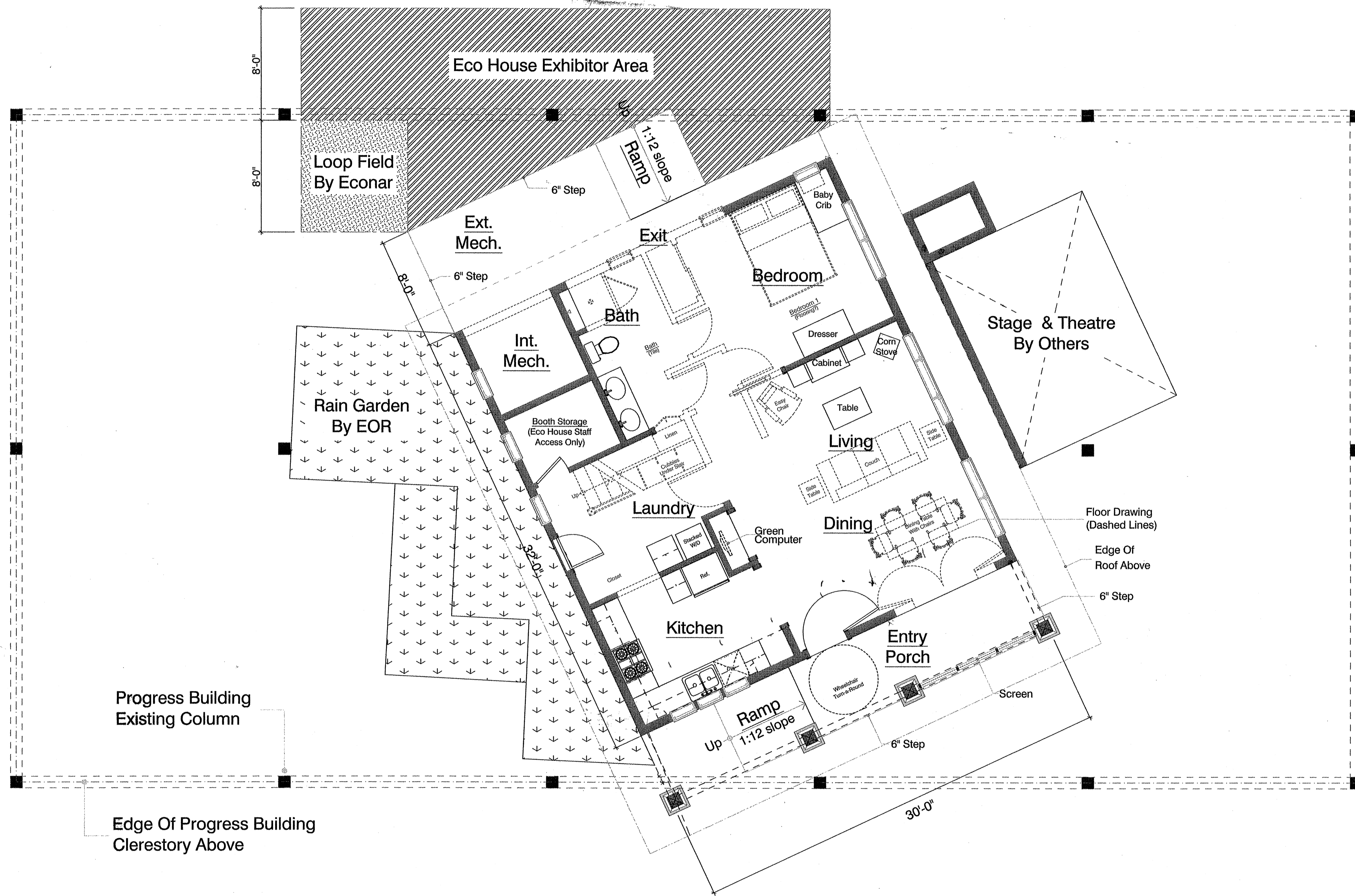
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 DRAWN FOR: DRAWING# DRAWING# DRAWING#
 DRAWN BY: DRAWNBY PROJECT: PROJECT SCALE: SCALE
 NOTES: NOTES

ADDRESS FOR PROJECT
 Name: NAME
 Address: ADDRESS
 City: CITY State: STATE

FLOOR LOADS
 Live Load: FLL
 Dead Load: FDL

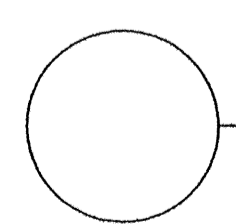
ROOF LOADS
 Live Load: RLL
 Dead Load: RDL
 WIND LOAD: WINDLOAD





Progress Building Existing Column

Edge Of Progress Building Clerestory Above

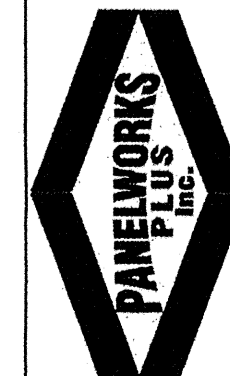


Eco House Booth - Main Level Floor Plan in Progress Building

0 2 4

SCALE: 1/8"=1'-0"

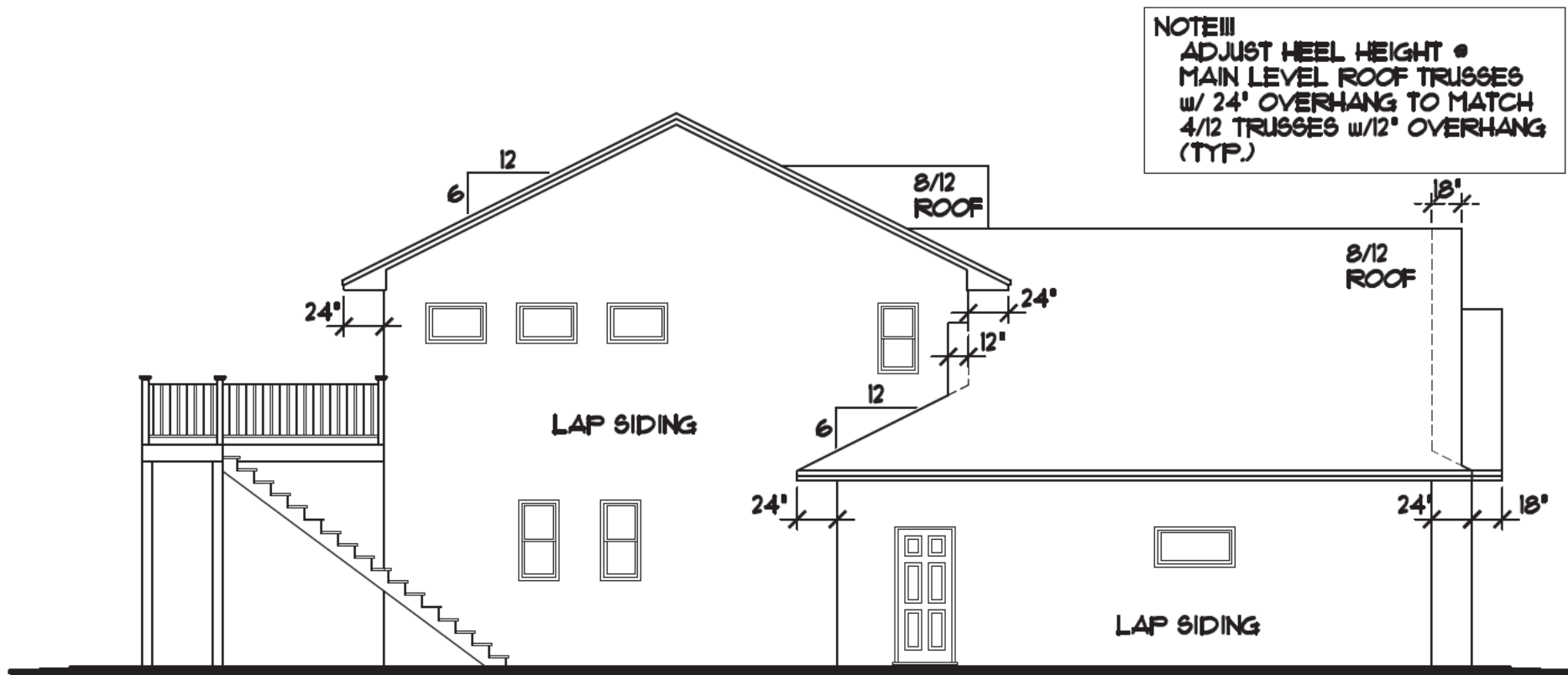
4861 Ambassador Blvd, NW
 St. Francis, MN 55070
 Phone: 763-213-8064
 Website: www.panelworksplus.com
 E-mail: info@panelworksplus.com
 License #R0271555



PAGE: # OF # JOB NUMBER: JIB# DATE: DATE
 DRAWN FOR: DRAWN FOR REV: REV.
 DRAWN BY: DRAWN BY DRAWING# DRAWING#
 PROJECT: PROJECT PROJECT: PROJECT SCALE: SCALE
 NOTES: NOTES

ADDRESS FOR PROJECT
 Name: NAME
 Address: ADDRESS
 City: CITY State: STATE

ROOF LOADS
 Live Load: RLL
 Dead Load: RDL
 WIND LOAD: WINDLOAD
 FLOOR LOADS
 Live Load: FLL
 Dead Load: FDL



NOT ALL RAIL IS SHOWN FOR CLARITY OF ELEVATIONS, RAIL IS REQ'D ON DECK and STAIRS (TYP.)

FIELD VERIFY ACTUAL GRADE & NUMBER OF RISERS

LEFT ELEVATION
1/8"=1'-0"

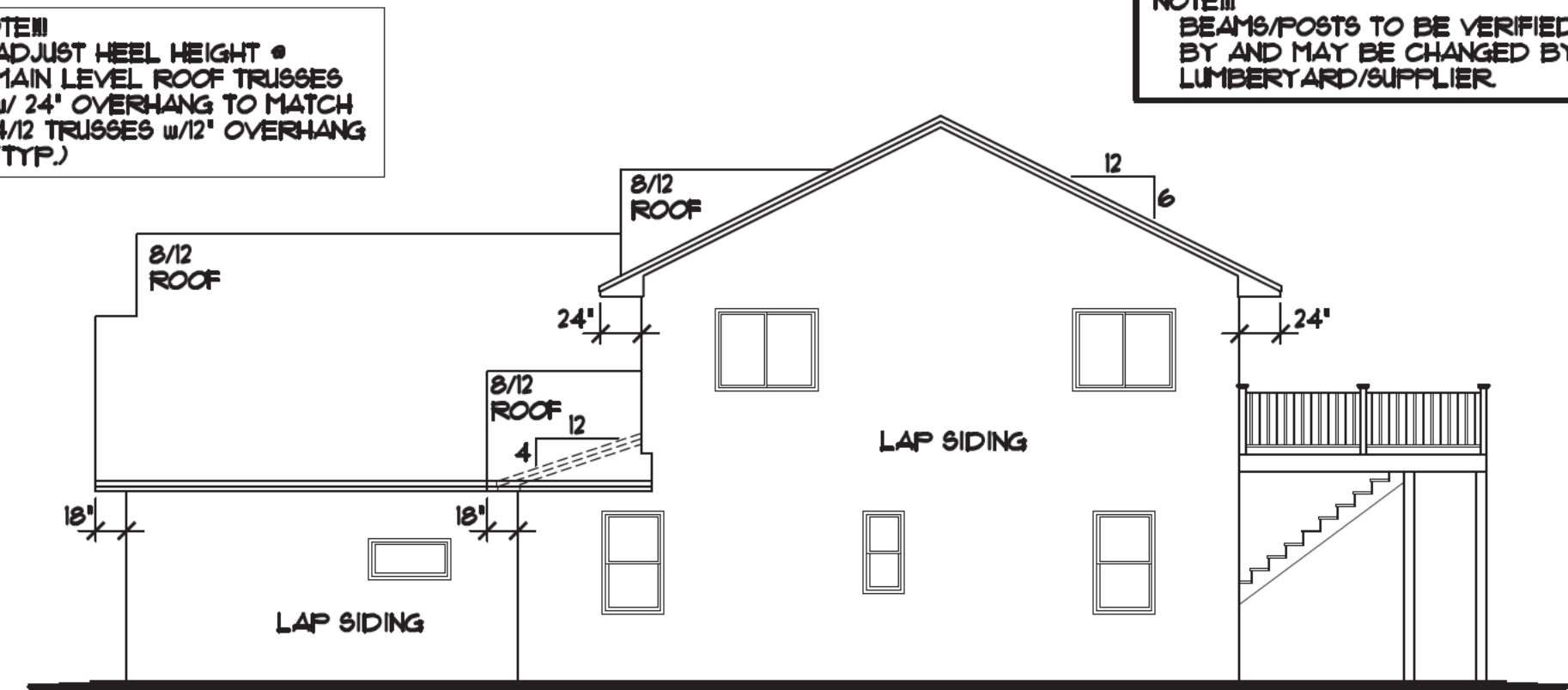


NOTE III PROVIDE 8" HEEL @ UPPER LEVEL ROOF TRUSSES (TYP.)

NOT ALL RAIL IS SHOWN FOR CLARITY OF ELEVATIONS, RAIL IS REQ'D ON DECK and STAIRS (TYP.)

FIELD VERIFY ACTUAL GRADE & NUMBER OF RISERS

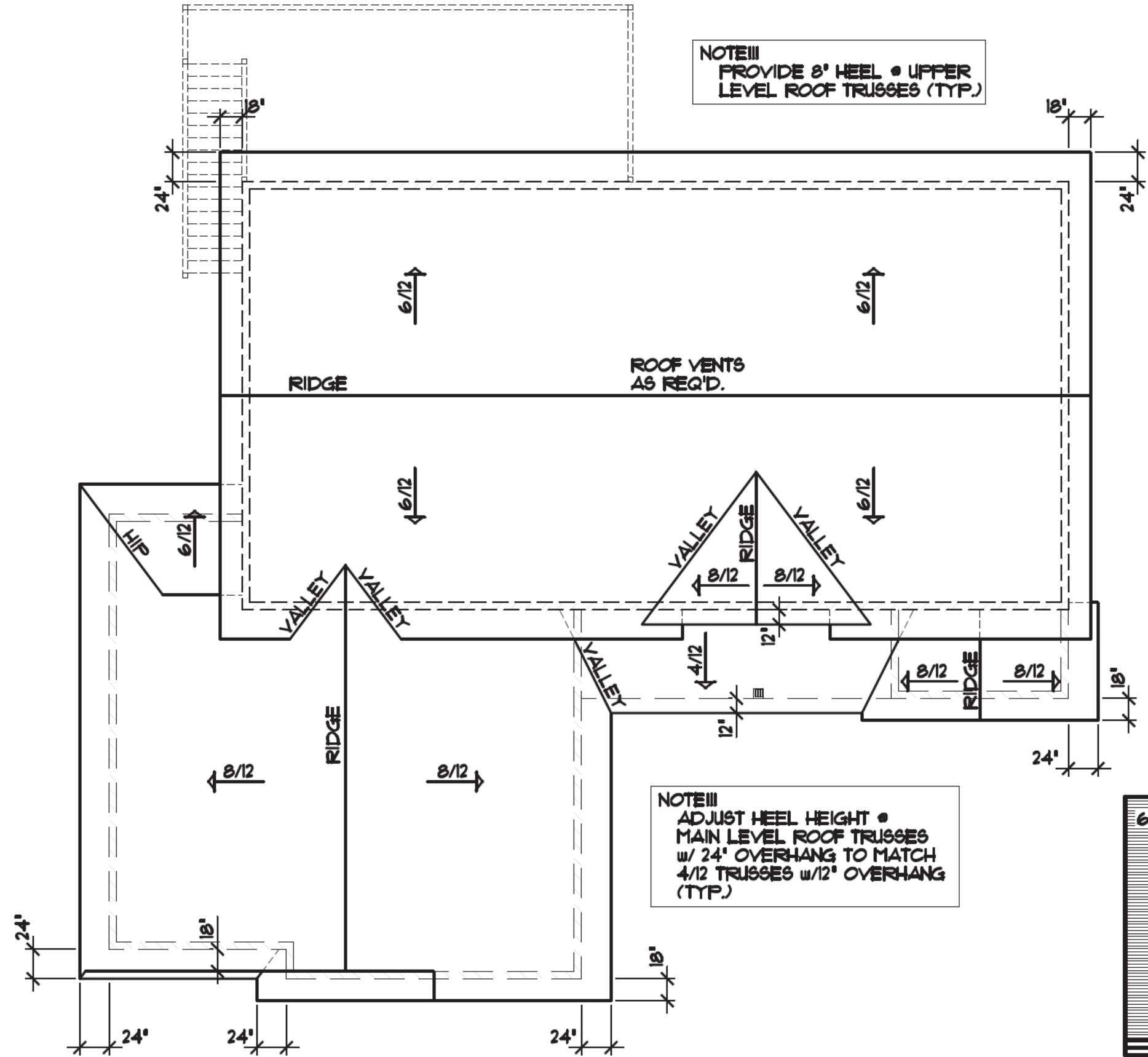
REAR ELEVATION
1/8"=1'-0"



NOTE III BEAMS/POSTS TO BE VERIFIED BY AND MAY BE CHANGED BY LUMBERYARD/SUPPLIER.

NOT ALL RAIL IS SHOWN FOR CLARITY OF ELEVATIONS, RAIL IS REQ'D ON DECK and STAIRS (TYP.)

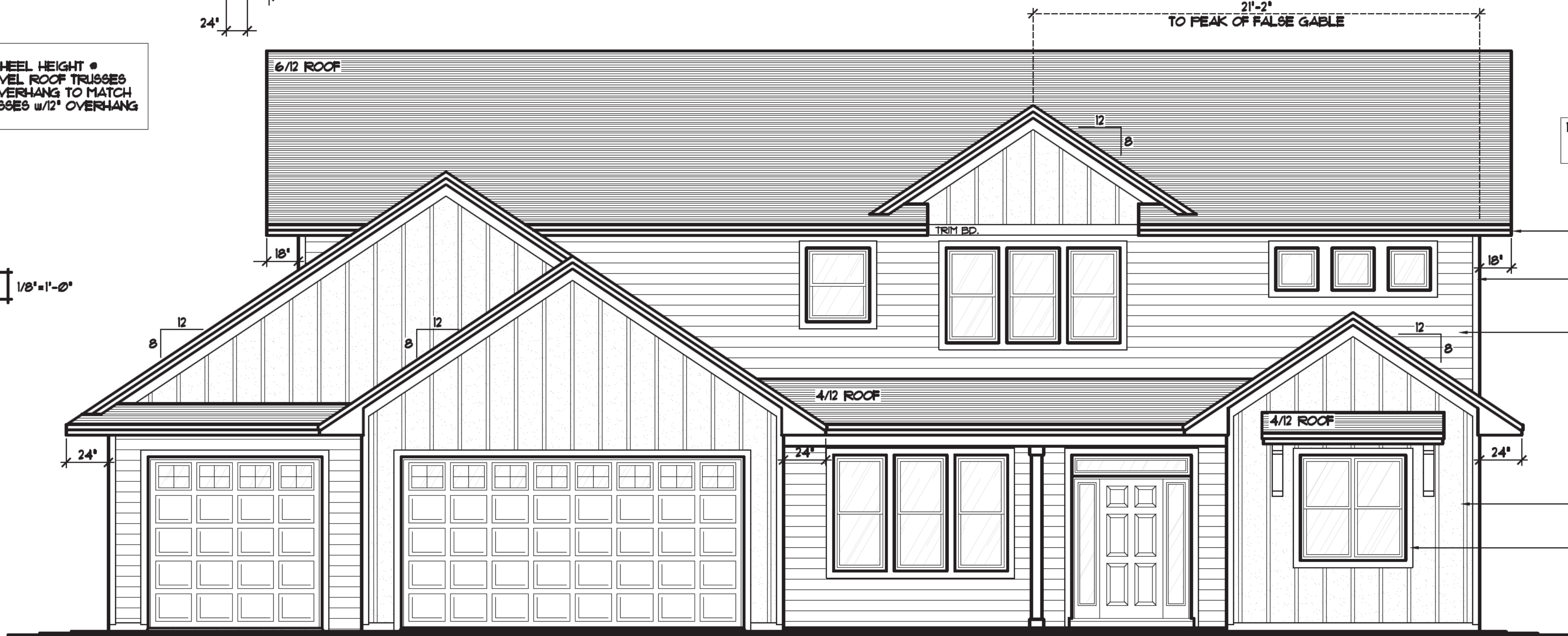
RIGHT ELEVATION
1/8"=1'-0"



NOTE III PROVIDE 8" HEEL @ UPPER LEVEL ROOF TRUSSES (TYP.)

NOTE III ADJUST HEEL HEIGHT @ MAIN LEVEL ROOF TRUSSES w/ 24" OVERHANG TO MATCH 4/12 TRUSSES w/12" OVERHANG (TYP.)

BIRDS EYE ROOF PLAN 1/8"=1'-0"



NOTE III PROVIDE 8" HEEL @ UPPER LEVEL ROOF TRUSSES (TYP.)

NOTE III ADJUST HEEL HEIGHT @ MAIN LEVEL ROOF TRUSSES w/ 24" OVERHANG TO MATCH 4/12 TRUSSES w/12" OVERHANG (TYP.)

ALUMINUM SOFFIT AND FASCIA

4" CORNER TRIM

LAP SIDING (TYP.)

BOARD & BATTEN SIDING (TYP.)

WINDOW TRIM

NOTE III EXTERIOR DOORS & GARAGE DOORS ARE REPRESENTATION ONLY. VERIFY EXACT STYLE OF DOORS w/ BUILDER

FRONT ELEVATION 1/4"=1'-0"

1164 SQFT. MAIN LEVEL
1872 SQFT. UPPER LEVEL
3036 SQFT. TOTAL FINISHED AREA

LEVEL HEIGHT INFORMATION TABLE

LEVEL	R.C.H.	TOP OF WINDOW R.O.
MAIN LEVEL	9'-1 1/8"	7'-10 1/2"
UPPER LEVEL	8'-1 1/8"	6'-10 1/2"

- GENERIC WINDOWS SPEC'D.
- ALUMINUM SOFFITS & FASCIA
- SIDING/CORNER TRIM WHERE SHOWN
- BOARD & BATTEN SIDING WHERE SHOWN
- LAP SIDING WHERE SHOWN
- WINDOW/DOOR TRIM WHERE SHOWN

REVISIONS	BY
XXXX	XX

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DESIGN AND DRAFTING BY

CROIX
DESIGN & DRAFTING, INC.

BUILT BY:

DRAWN	J.V.
CHECKED	XX
DATE:	01/17/2026
SCALE:	AS NOTED
CADD FILE #	26004

THE: **APEX LAND SURVEYING RESIDENCE**

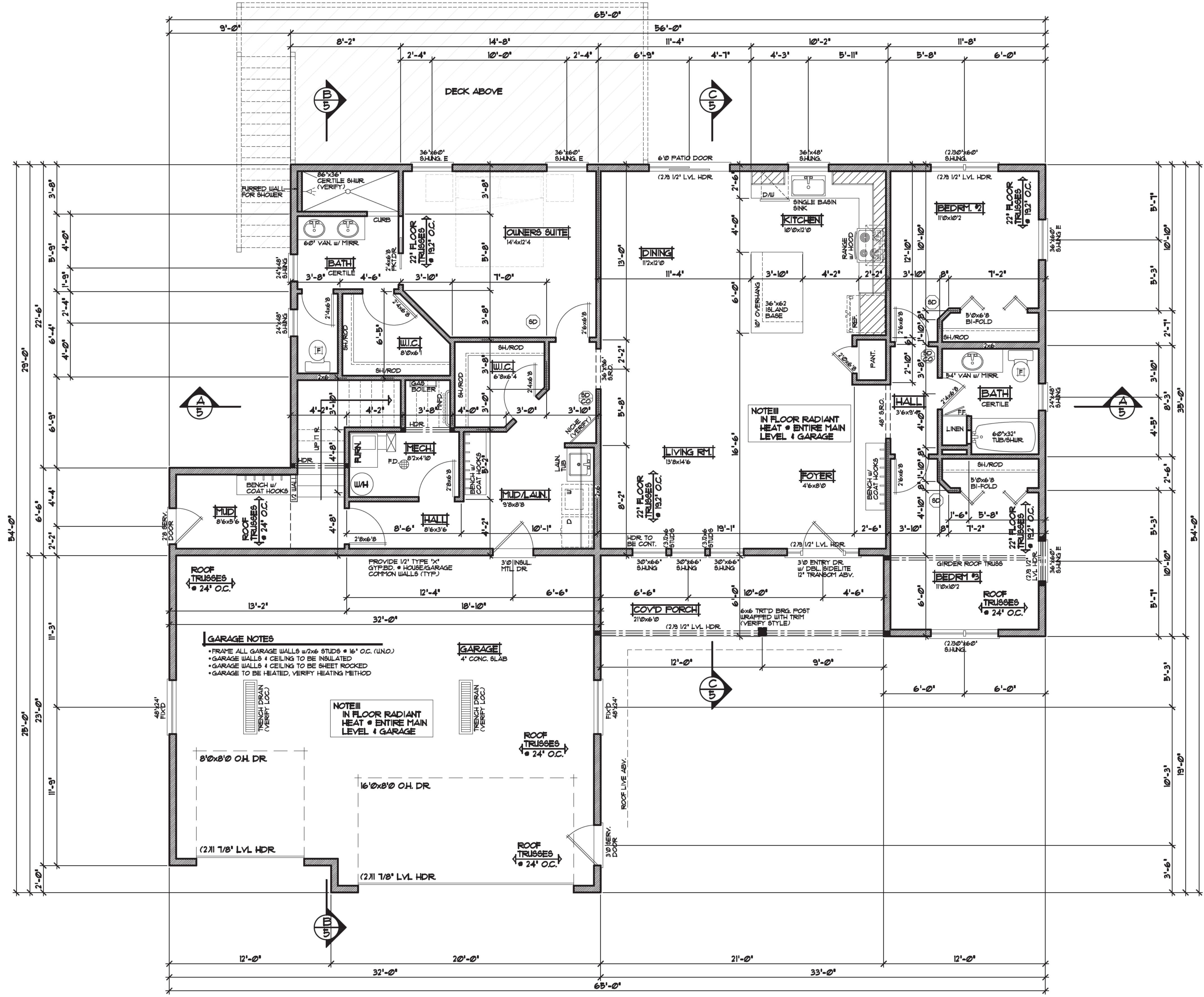
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MAIN LEVEL PLAN 1/4"=1'-0"
1754 SQFT. MAIN LEVEL (INCLUDING STAIRS & MECH.)

FRAMING & CONSTRUCTION NOTES

- 9'-1 1/8" PLATE HEIGHT • ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- FRAME ALL GARAGE WALLS w/ 2x6 STUDS • 16' O.C. (TYP.)
- GARAGE WALLS & CEILING TO BE INSULATED
- GARAGE WALLS & CEILING TO BE SHEET ROCKED
- GARAGE TO BE HEATED, VERIFY HEATING METHOD

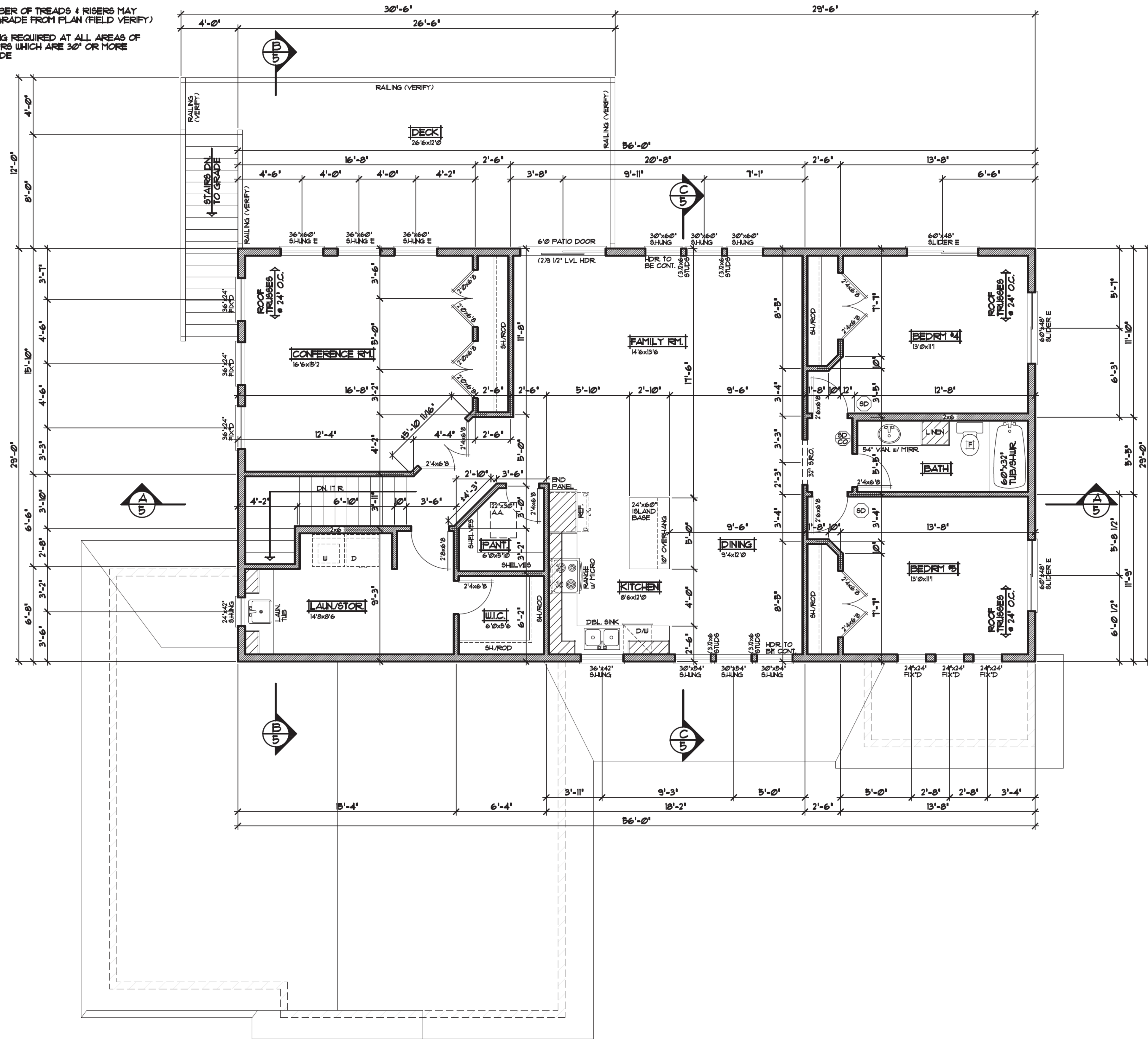
DOOR & WINDOW NOTES

- GENERIC WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS WITH 1" & 1" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 @ GRADE HEADER OR BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON MAIN LEVEL TO BE 1'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

DECK CONSTRUCTION NOTES

- ALL EXTERIOR WOOD IS TO BE TREATED LUMBER
- ACTUAL NUMBER OF TREADS & RISERS MAY VARY PER GRADE FROM PLAN (FIELD VERIFY)
- HAND RAILING REQUIRED AT ALL AREAS OF DECK & STAIRS WHICH ARE 30" OR MORE ABOVE GRADE

BEAMS/POSTS TO BE VERIFIED BY AND MAY BE CHANGED BY LUMBERYARD/SUPPLIER



UPPER LEVEL PLAN 1/4"=1'-0"
1572 SQFT. UPPER LEVEL (NOT INCLUDING STAIR AREA)

FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT @ ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)

DOOR & WINDOW NOTES

- GENERIC WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "S" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2X10) 1/2" GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

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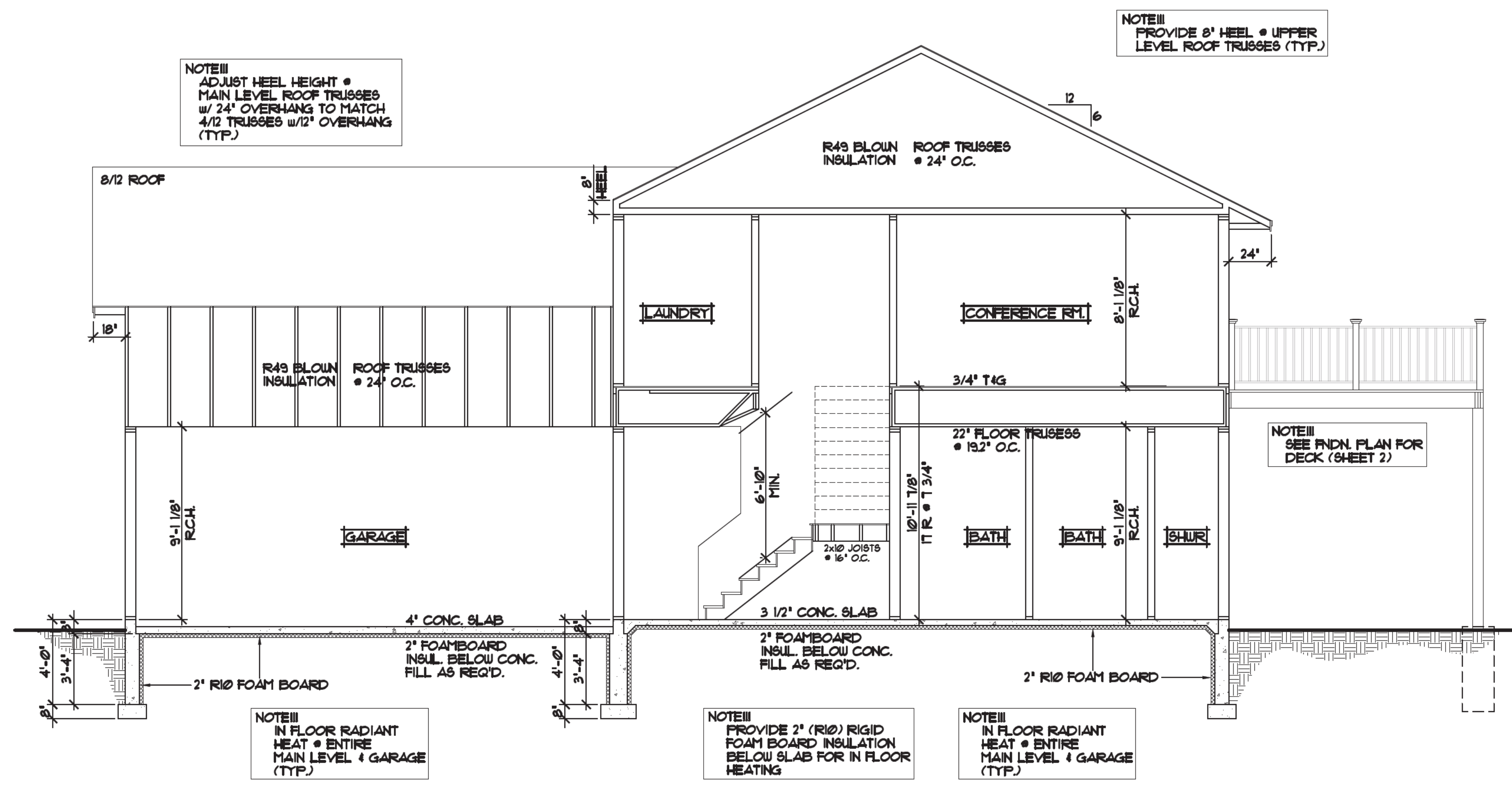
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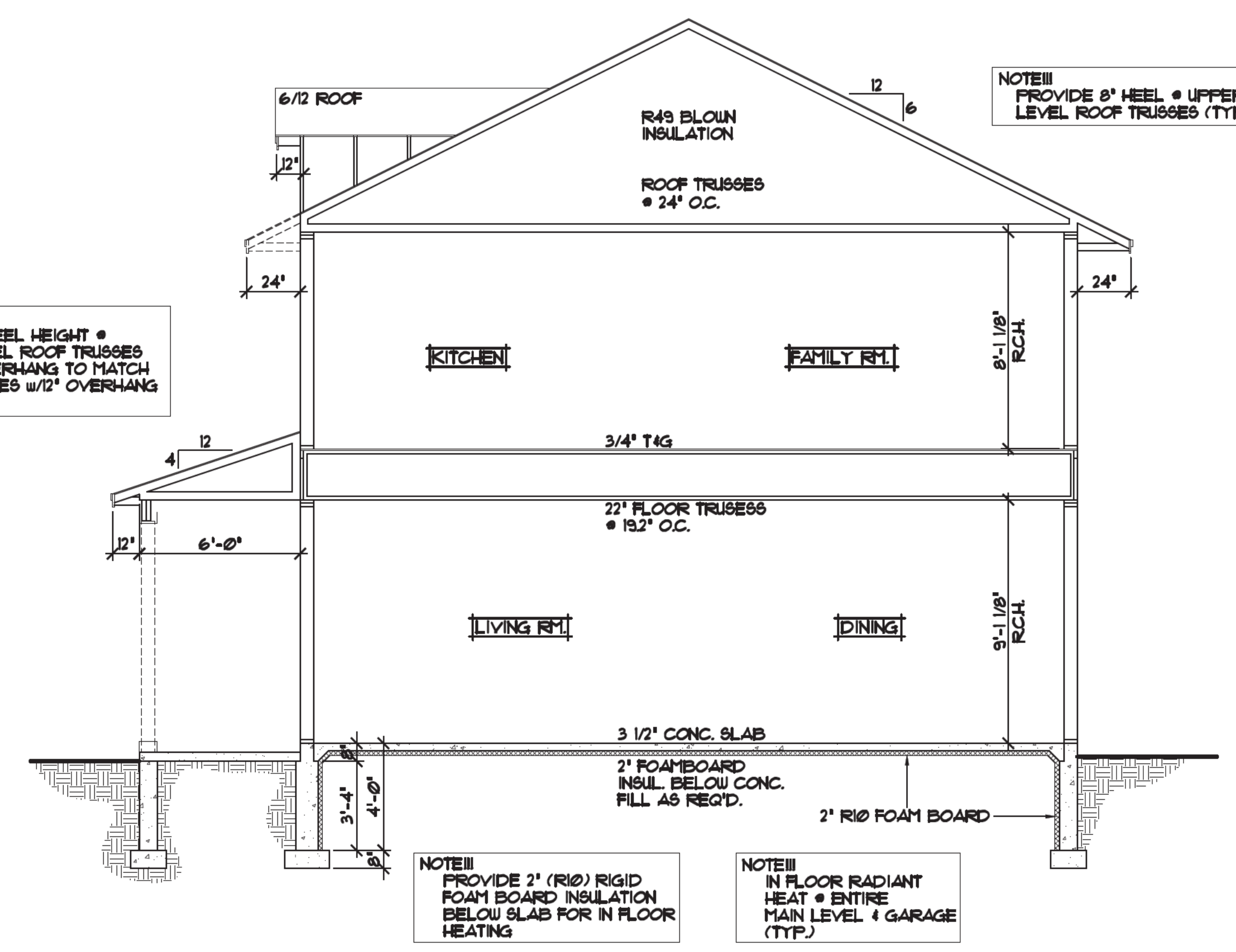
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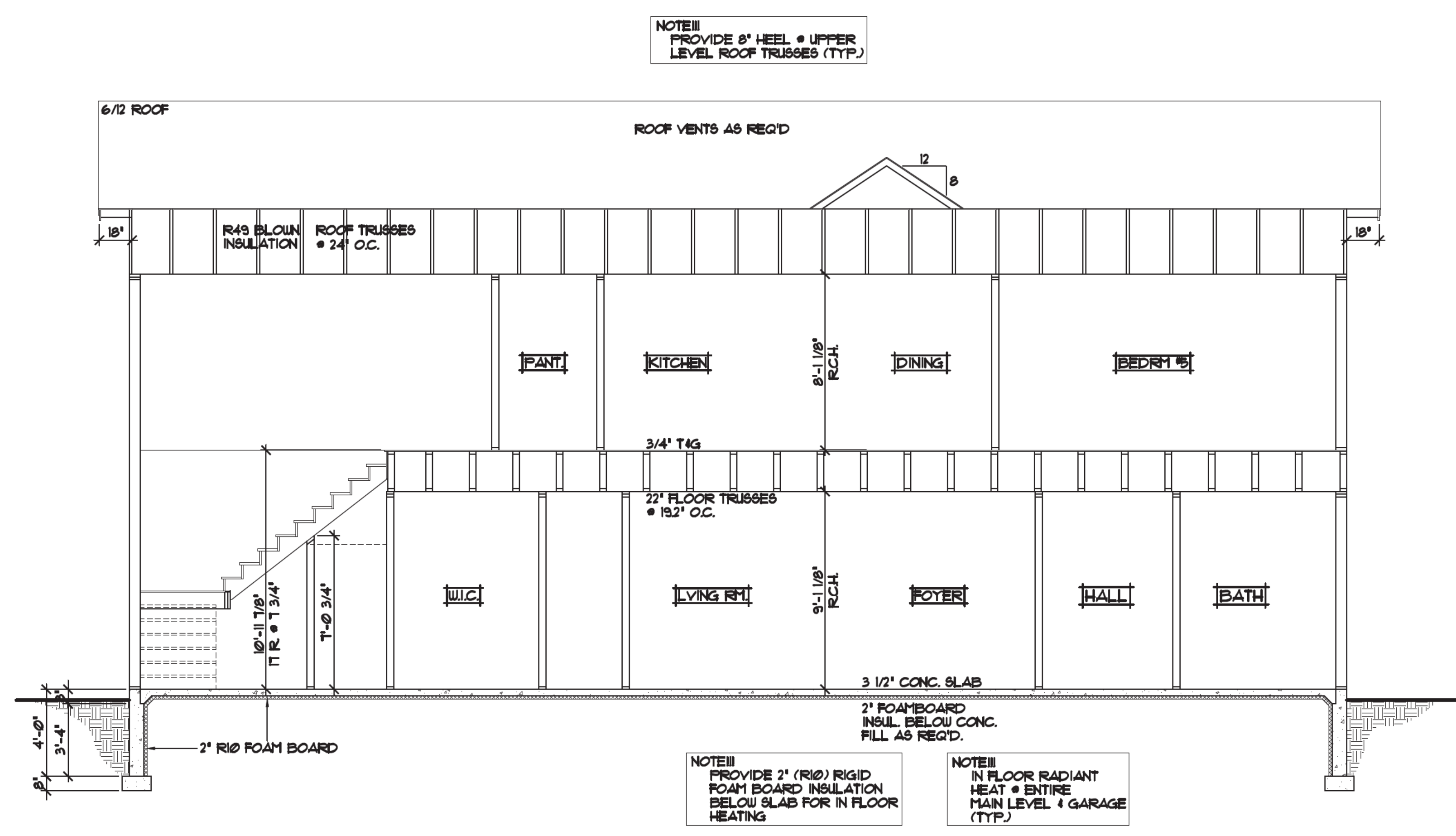


CROSS SECTION 'B' 1/4"=1'-0"

NOTE III
ADJUST HEEL HEIGHT •
MAIN LEVEL ROOF TRUSSES
w/ 24" OVERHANG TO MATCH
4/12 TRUSSES w/12" OVERHANG
(TYP.)



CROSS SECTION 'C' 1/4"=1'-0"



CROSS SECTION 'A' 1/4"=1'-0"

- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/8" ROOF VENT AT SOFFITS, 1/8" VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 15/32" ROOF SHEATHING
 - 15" ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" FROM EXTERIOR WALL
 - ASPHALT SHINGLES
- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - ALUMINUM FASCIA COVER
 - ALUMINUM VENTED SOFFIT
- WALL CONSTRUCTION:**
- SIMILAR TO ABOVE
- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.
- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 1/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPEC'S
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR RETARDER
 - 1/2" GYPSUM BOARD
- SILL CONSTRUCTION:**
- 2x8 SILL PLATE & SEALER (2x6 PLATE • WALKOUT AREAS)
 - 1/2" ANCHOR BOLTS • 48" O.C.
- FOUNDATION CONSTRUCTION:**
- POURED CONCRETE WALL FOUNDATION (WALL THICKNESS VARIES, SEE FOUNDATION PLAN FOR SIZES)
- FOUNDATION INSULATION:**
- FOUNDATION INTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
- SLAB CONSTRUCTION:**
- 3 1/2" POURED CONCRETE FLOOR
 - 6 MIL POLY VAPOR RETARDER UNDER SLAB
 - UNIFORM LAYER OF 3/4" CLEAN AGGREGATE
 - 4" THICK (MINIMUM)
 - SAND FILL AS REQUIRED

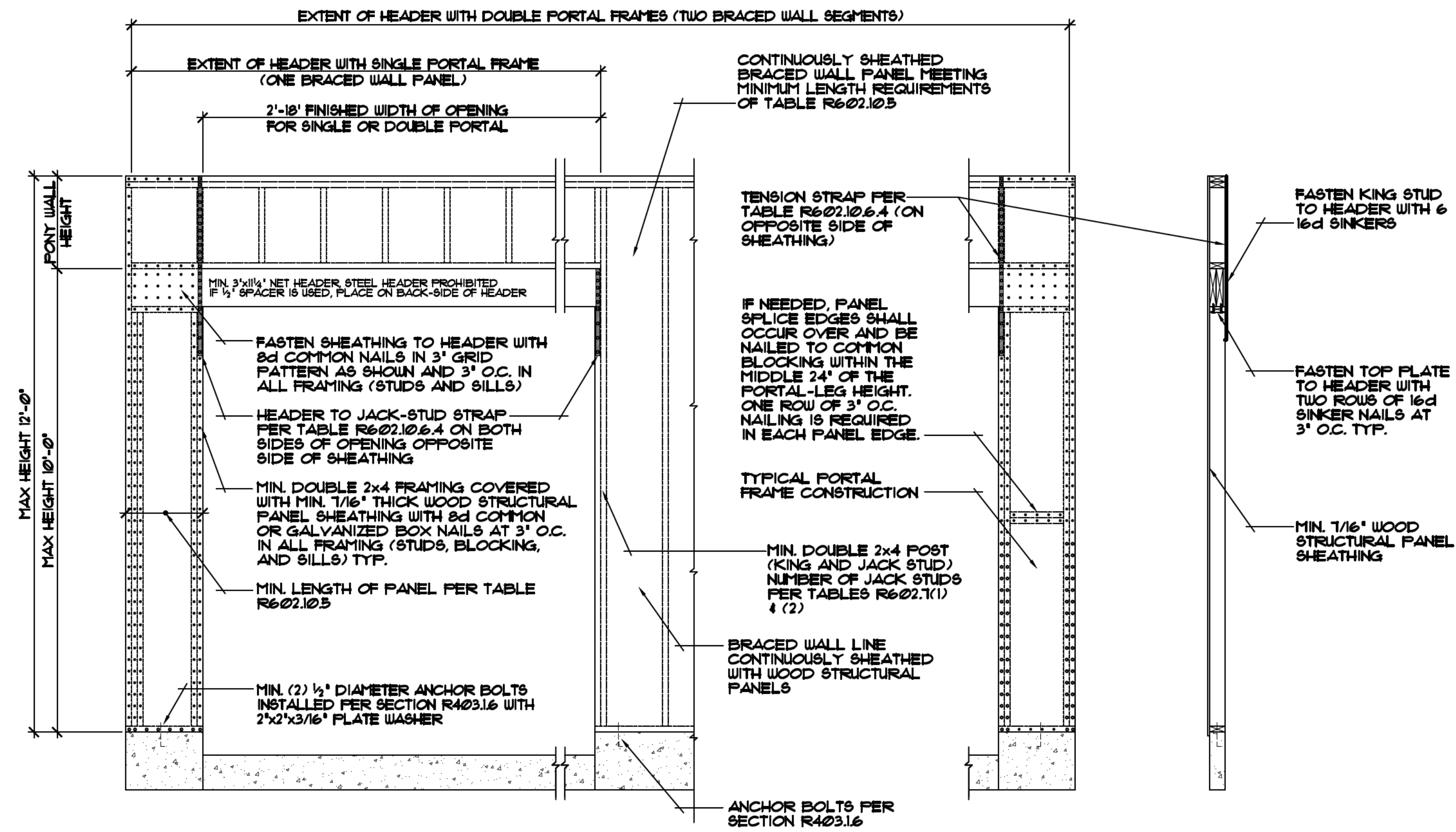
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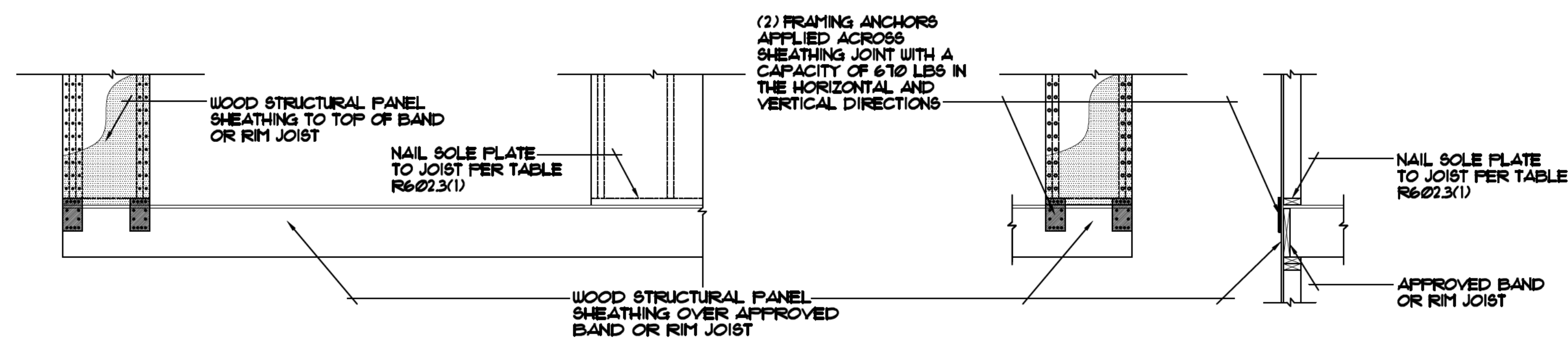
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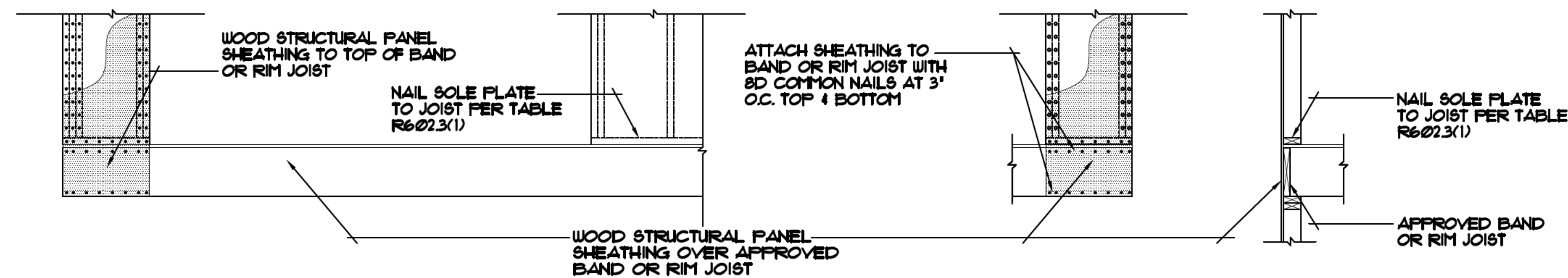
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OVER CONCRETE OR MASONRY BLOCK FOUNDATION



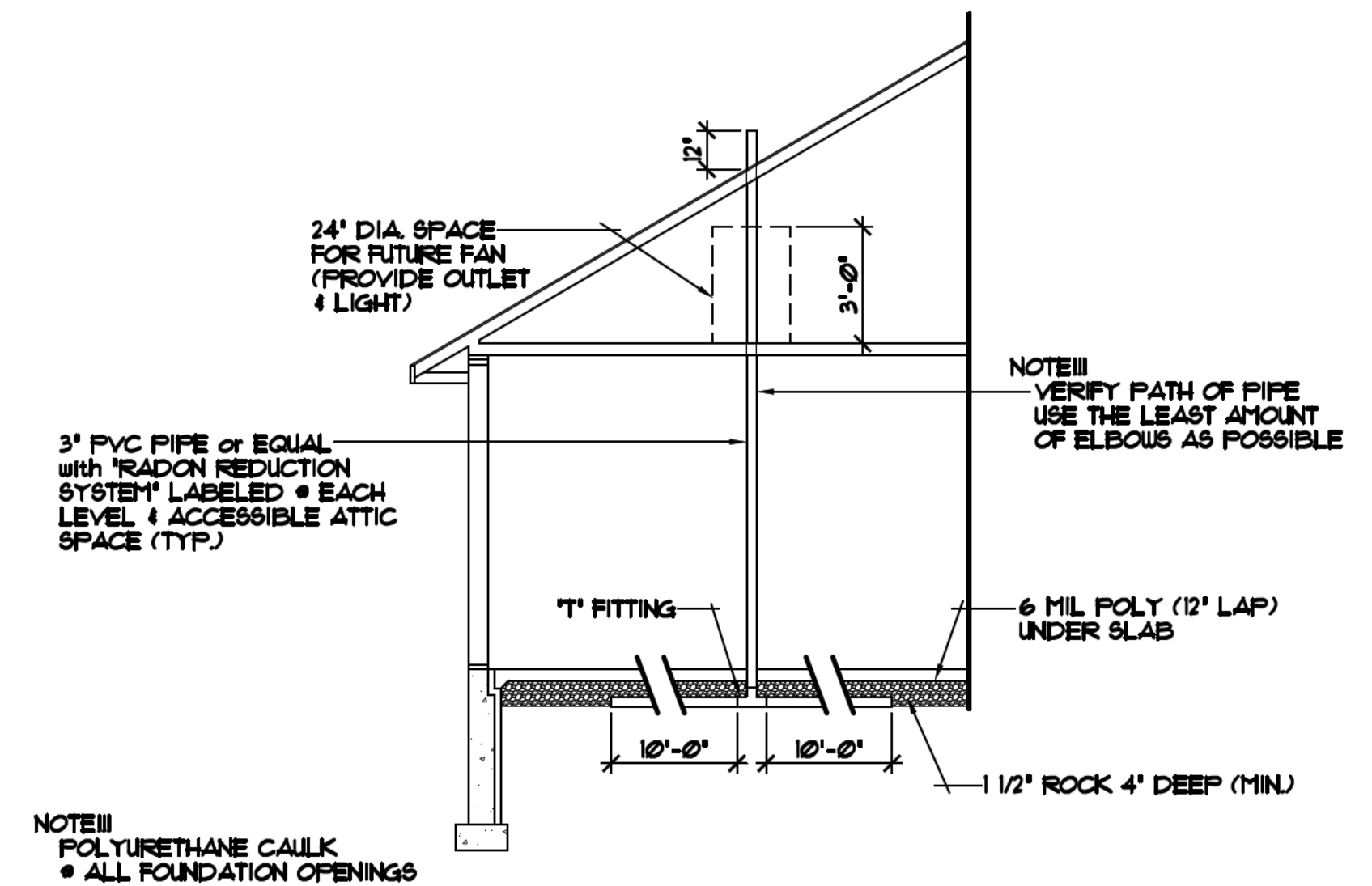
OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION
(WHERE PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM JOIST)



OVER RAISED WOOD FLOOR - OVERLAP OPTION
(WHERE PORTAL SHEATHING LAPS OVER BAND OR RIM JOIST)

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"-1'-0"

FIGURE 602.10.6.4 METHOD C8-FF



ALTERNATE METHOD FOR PASSIVE
RADON MITIGATION SYSTEM

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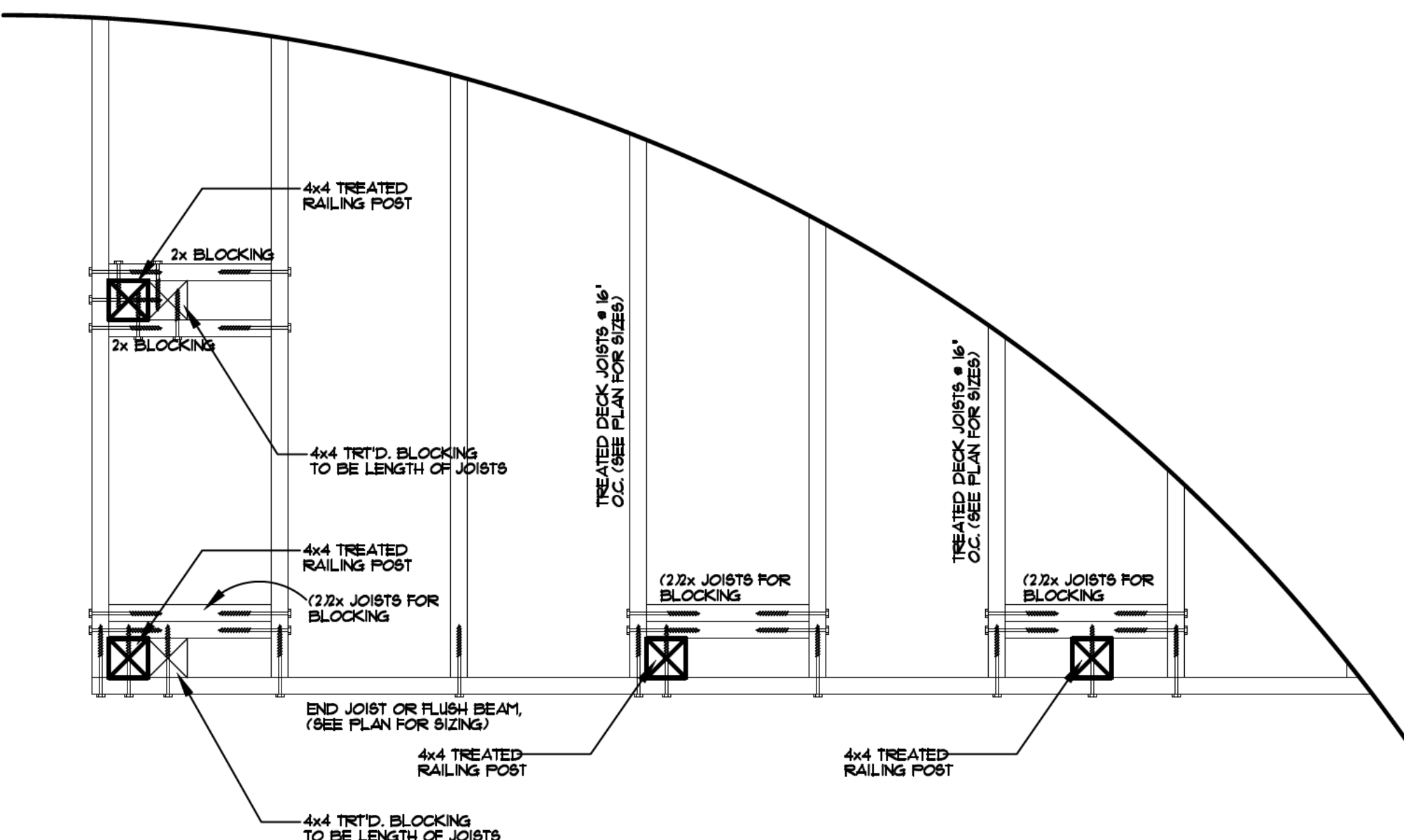


NOTE III
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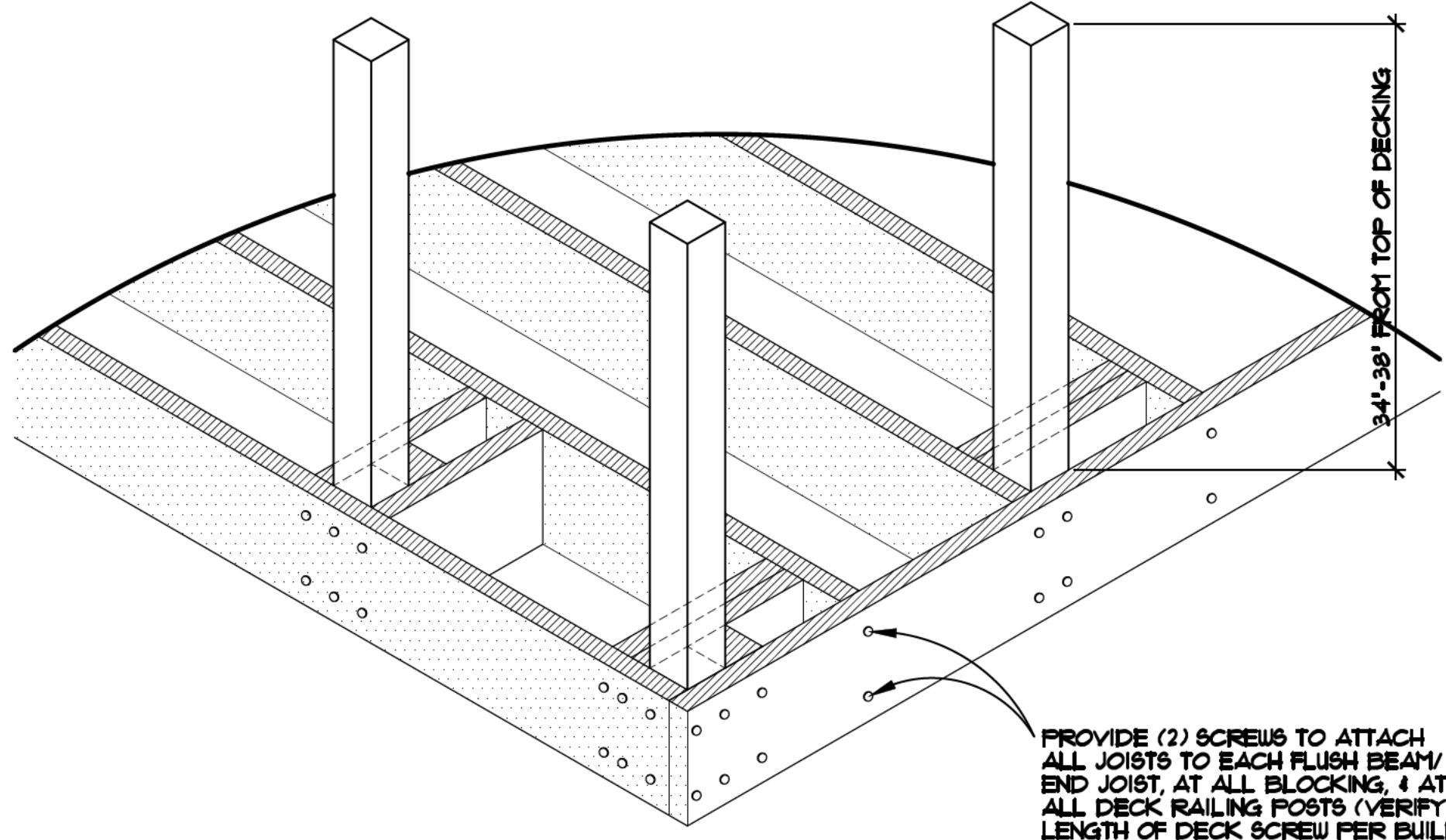
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PROVIDE (2) SCREWS TO ATTACH ALL JOISTS TO EACH FLUSH BEAM/ END JOIST, AT ALL BLOCKING, & AT ALL DECK RAILING POSTS (VERIFY LENGTH OF DECK SCREW PER BUILDER AND/OR MANUFACTURER)

DECK RAILING POST DETAIL 1'-1'-0"
PLAN VIEW

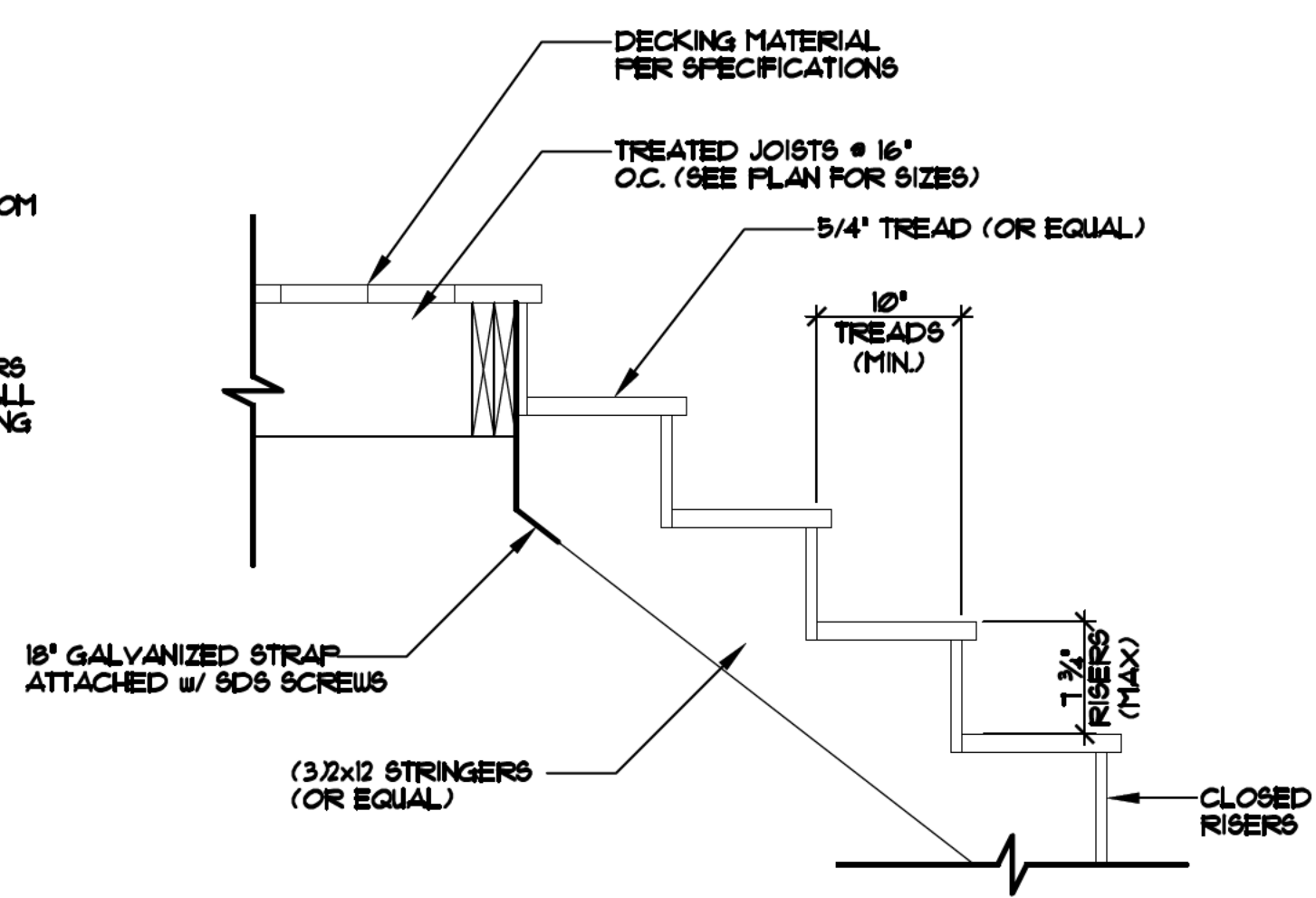


PROVIDE (2) SCREWS TO ATTACH ALL JOISTS TO EACH FLUSH BEAM/ END JOIST, AT ALL BLOCKING, & AT ALL DECK RAILING POSTS (VERIFY LENGTH OF DECK SCREW PER BUILDER AND/OR MANUFACTURER)

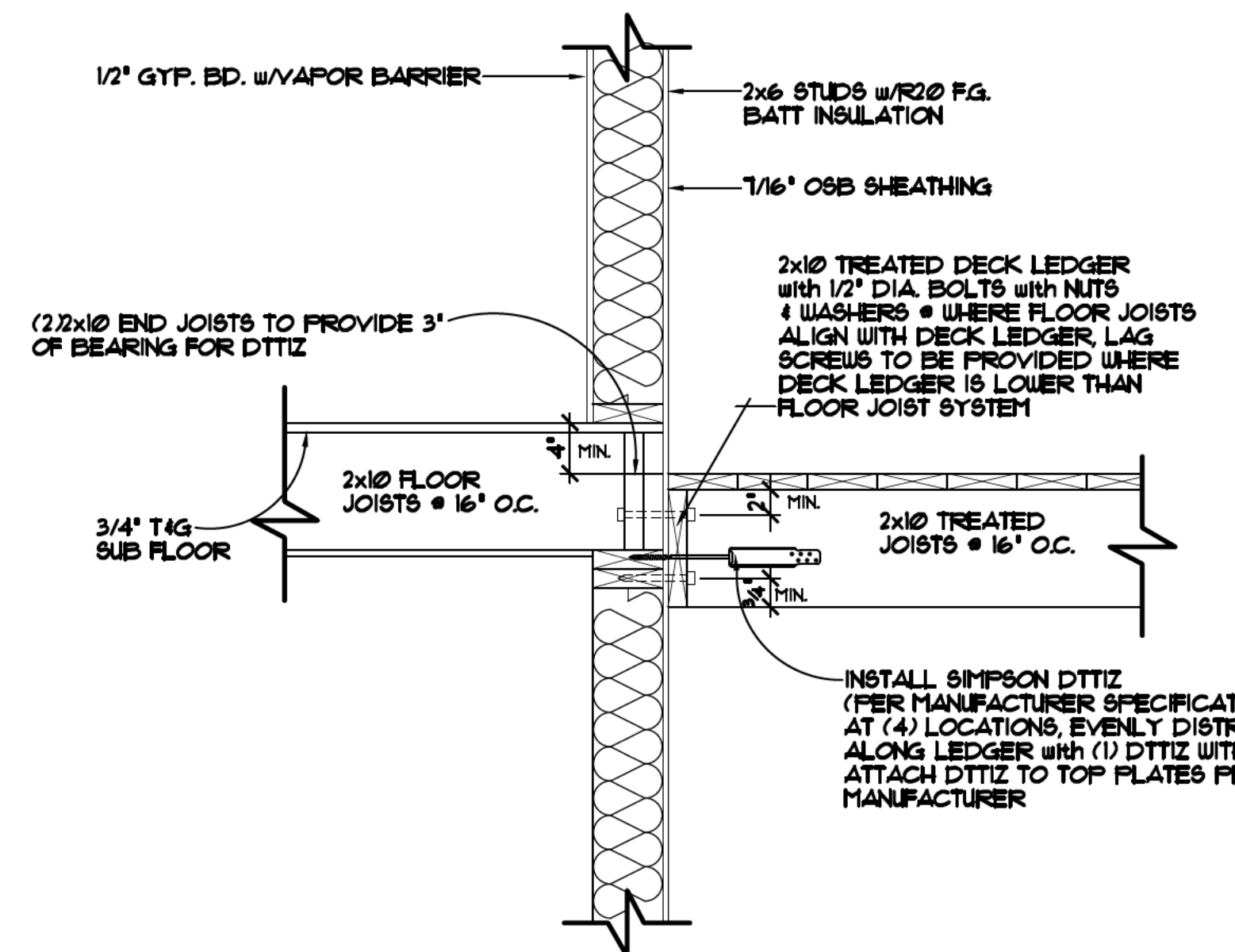
DECK RAILING POST DETAIL NOT TO SCALE
3D VIEW

NOTE III
RAILING REQUIRED AT ALL STAIRS WITH MORE THAN 2 RISERS AND/OR IF TOP OF DECK IS MORE THAN 30" FROM GRADE

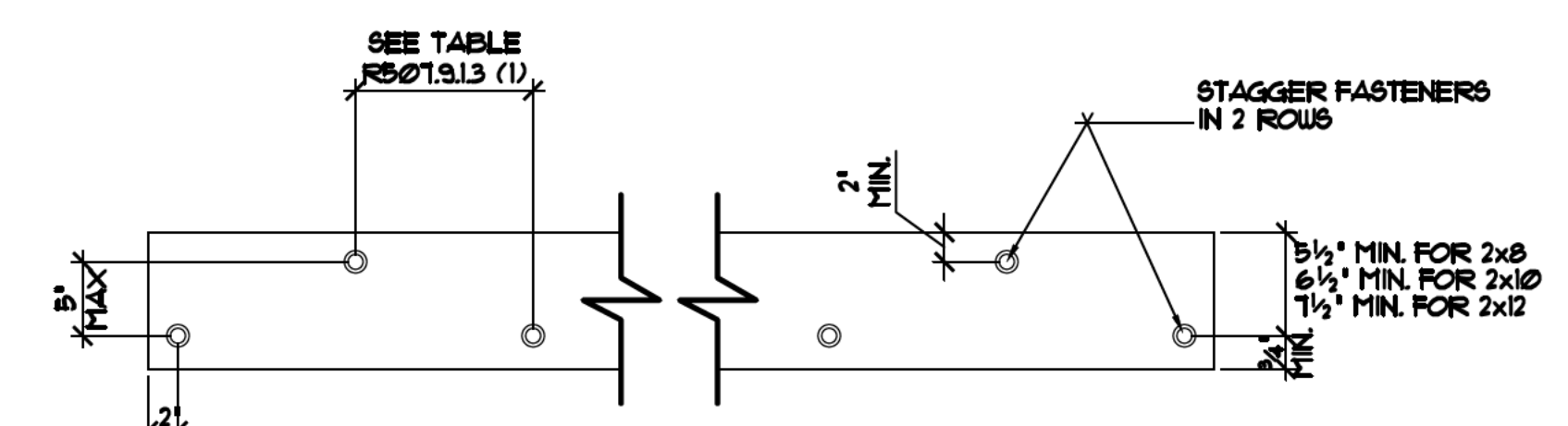
NOTE III
STAIRS SHALL NOT BE MORE THAN 15" FROM DECKING TO GRADE, IF STAIRS ARE TALLER THAN 15", A LANDING SHALL BE REQUIRED (36"x36" MINIMUM LANDING SIZE)



DECK STAIR DETAIL 1'-1'-0"
VERIFY NUMBER OF TREADS & RISERS



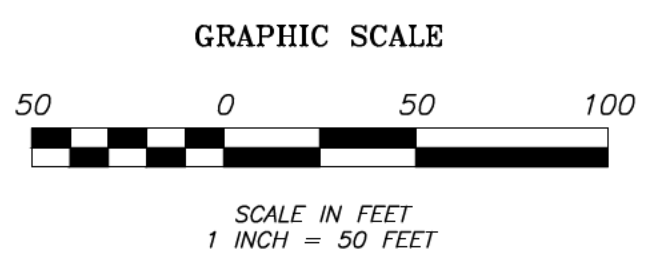
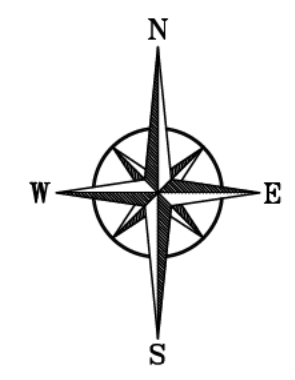
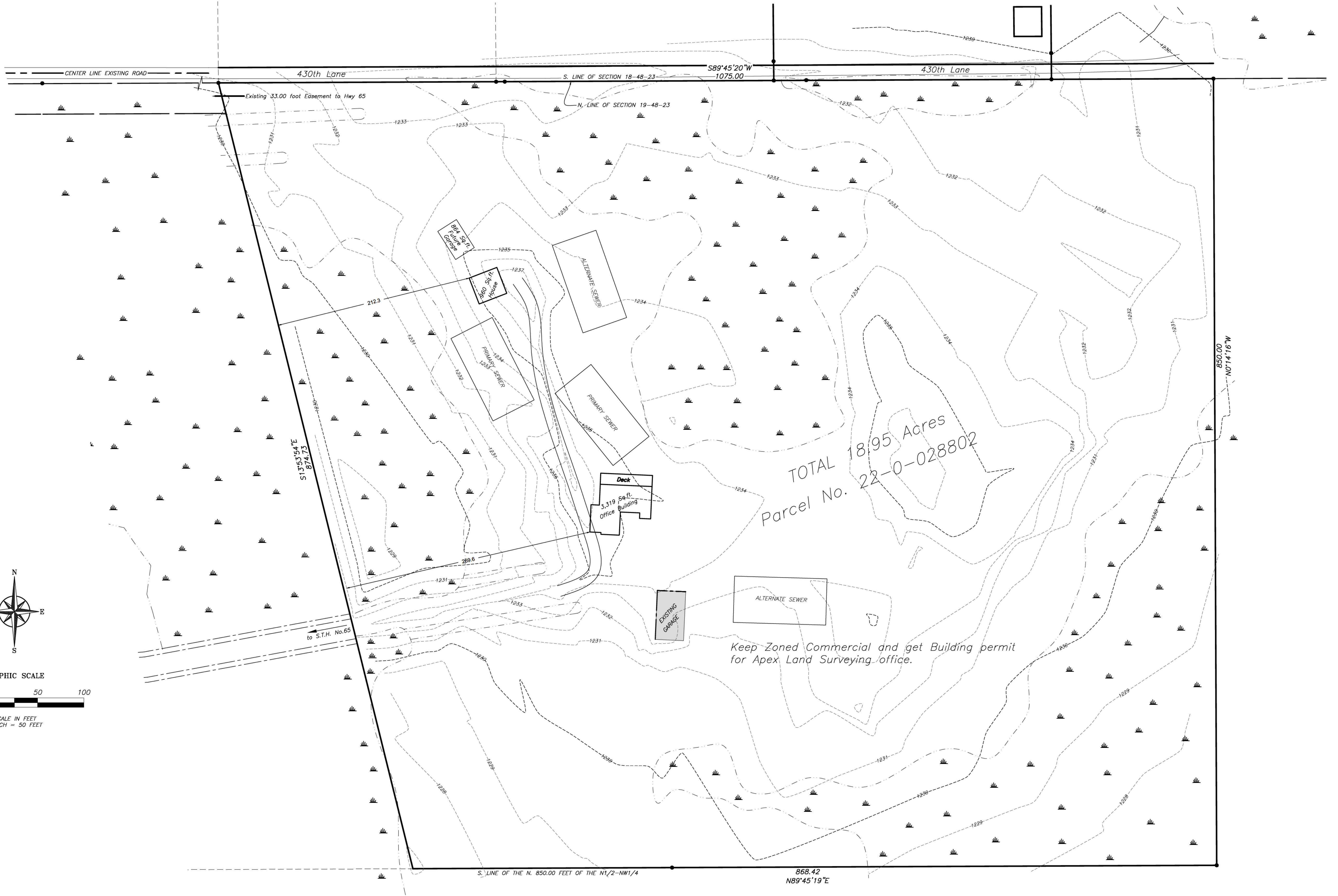
DECK LEDGER DETAIL 1'-1'-0"
WITH SIDE MOUNT INSTALLATION OF HOLD DOWN DEVICE



DECK LEDGER SCREW/BOLT DETAIL 1'-1'-0"
PER CODE SECTION FIGURE R501.9.3.1 (1)

DECK LEDGER CONNECTION TO BAND JOIST TABLE (TABLE R501.9.3.3 (1))

CONNECTION DETAILS	JOIST SPAN & ON CENTER SPACING OF FASTENERS						
	6' AND LESS	6'1 TO 8'0	8'1 TO 10'0	10'1 TO 12'0	12'1 TO 14'0	14'1 TO 16'0	16'1 TO 18'0
1/2" DIAMETER LAG SCREW with 1/2" MAXIMUM SHEATHING	30" O.C.	23" O.C.	18" O.C.	15" O.C.	11" O.C.	10" O.C.	
1/2" DIAMETER LAG BOLT with 1/2" MAXIMUM SHEATHING	36" O.C.	36" O.C.	34" O.C.	29" O.C.	24" O.C.	21" O.C.	19" O.C.
1/2" DIAMETER LAG BOLT with 1" MAXIMUM SHEATHING	36" O.C.	36" O.C.	29" O.C.	24" O.C.	21" O.C.	18" O.C.	16" O.C.





Vacation/Short-Term Rental IUP App. # 2026-000098, UID # 221690
Renewal of [Permit # 2021-6409](#)
App. Status: Pending Review

Aitkin County Planning & Zoning / Environmental Services
307 Second St. NW Room 219, Aitkin, MN 56431
Email: aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

Applicant

Applicant Contact Information:	Name
	Jeffrey A Popp
	Phone:
	[REDACTED]
	Email Address:
[REDACTED]	
Mailing Address	
7159 95th St NE	
Foley MN 56329	
Are you the property owner?	<u>Yes</u>

60 Minute Contact Person

60 Minute Contact Person:	Name:
	Brandon Jeffrey Popp
	Phone
	[REDACTED]
Email	
[REDACTED]	

Property Location

Property Information:	Property Location								Property Attributes	
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	39-1-088400	47952 226TH PL MCGREGOR MN 55760	WORKMAN TWP	POPP, JEFFREY & LISA	POPP, JEFFREY & LISA	LOT 4 BLK 1	REFUGE THE	S:24 T:49 R:24		
Directions (if no address):	Hwy 65 North of McGregor to 480th St Left approx. 2 miles to 226th Place 2nd House on Left(South side of road)									

Brief Narrative

Brief Narrative:	Patio14 is a brand new rental home located on the 14th Hole of Minnesota National's Championship Course. This rental will be ready by April of 2021. This 3300 sf home features a large living/great room, large kitchen with a 9ft island, a screen porch overlooking the course. The master bedroom has a king bed and walk-in shower. The main floor also has a large bedroom with 2 queen beds and private bathroom and shower. The upper level has two similar bedrooms, each with private bathrooms and a loft that has a futon and TV. This home is fully equipped and will sleep 8 people.
List all current advertising sources:	Listing on VRBO (ID #2078217) Also at Minnesota National Golf
Proposed number of overnight guests:	8
How many rental units will be located on this parcel?	1
Will you be renting for periods less than one week?	<u>Yes</u>
Quiet hours will begin at:	10 : 00 <u>PM</u>
Quiet hours will end at:	08 : 00 <u>AM</u>
The septic system or well will need a flow-measuring device installed. Flow measurement readings and monitoring of the septic shall be recorded monthly and made available to Aitkin County. Has a flow meter or event counter been installed on the well or septic system?	<u>Yes</u>
Is the septic system holding tanks (no drainfield)? If yes, the application for an Operating Permit will begin after you submit this app.	<u>No</u>

Do you have a blue E911 address sign at your driveway?	<u>Yes</u>
--	------------

Floor Plan

What year was the rental unit built?	2021
How many rooms will be used for sleeping?	<u>5</u>
How many carbon monoxide alarms are located in the rental?	2
How many smoke detector alarms are located in the rental?	4
A fire extinguisher must be placed in an easily accessible location within each rental unit. Where is a fire extinguisher located?	Under Main Kitchen Sink and walk-in closet

Sleeping Area #1

Name of Room:	BR 1
Room Size (Excluding closet or attached bathroom):	237 ft ²
Number of Guests:	2
Select egress escape:	<u>Casement</u>
Was this window installed before March 31, 2020?	<u>No</u>
What is the distance from the floor to the bottom of this window (finished sill):	24 inches
What is the OPENABLE height of this window:	53 inches
What is the OPENABLE width of this window:	21 inches

Sleeping Area #2

Name of Room:	BR 2
Number of Guests:	2
Room Size (Excluding closet or attached bathroom):	247 ft ²
Select egress escape:	<u>Casement</u>
Was this window installed before March 31, 2020?	<u>No</u>
What is the distance from the floor to the bottom of this window (finished sill)?	36 inches
What is the OPENABLE height of this window?	41 inches
What is the OPENABLE width of this window?	23 inches

Sleeping Area #3

Name of Room:	BR 3
Number of Guests:	2
Room Size (Excluding closet or attached bathroom):	209 ft ²
Select egress escape:	<u>Casement</u>
Was this window installed before March 31, 2020?	<u>No</u>
What is the distance from the floor to the bottom of this window (finished sill)?	36 inches
What is the OPENABLE height of this window?	41 inches
What is the OPENABLE width of this window?	23 inches

Sleeping Area #4

Name of Room:	BR 4
Number of Guests:	2
Room Size (Excluding closet or attached bathroom):	198 ft ²
Was this window installed before March 31, 2020?	<u>No</u>
Select egress escape:	<u>Casement</u>
What is the OPENABLE height of this window?	41 inches
What is the OPENABLE width of this window?	23 inches
What is the distance from the floor to the bottom of this window (finished sill)?	36 inches

Sleeping Area #5

Name of Room:	Loft
Number of Guests:	0
Room Size (Excluding closet or attached bathroom):	100 ft ²
Was this window installed before March 31, 2020?	<u>No</u>
Select window style. (see attached diagram for window style options):	<u>Sliding or Side-Hinged Door</u>
What is the OPENABLE height of this window?	79 inches
What is the OPENABLE width of this window?	32 inches
What is the distance from the floor to the bottom of this window (finished sill)?	1 inches

Guest Information Handbook

Select all that will be included in your guest handbook:	<u>Quiet hours</u> <u>Maximum # of overnight guests</u> <u>Maximum # of non-overnight guests</u> <u>Name & contact information for owner and/or caretaker</u> <u>Property rules related to outdoor features</u> <u>List of conditions placed on the approved IUP</u> <u>Notice that all ordinances and IUP conditions will be enforced by the Aitkin County Sheriff's Office and Aitkin County Environmental Services</u>
Where in the rental will your handbook will be located?	Handbook with all information will be left on the kitchen Island for each renter to review
Where in the rental will the emergency contact information be posted?	Information will be on a card on kitchen cabinet, also on wall by garage door



Pet Policy

Pet Policy:	Property is listed as No Pets
-------------	-------------------------------

Garbage Disposal Plan

How often will the garbage be collected?	Garbage will be collected after each rental, or as needed
Enter the name of the garbage service or describe your disposal plan:	Garbage will be removed from the site by cleaning service

Supporting Documents

Attach the property deed:	File 1:  Property_Deed_Patio14.pdf
Attach Water Test:	File 1:  AW_Water_Test.PDF
Attach septic Certificate of Compliance:	 2026_Septic_Compliance_Report.pdf
Attach a floor plan of the rental unit(s):	File 1:  McGregor_Rental_Unit_Floor_Plan_2.pdf
Attach a scaled site plan:	File 1:  McGregor_Site_Plan.pdf

Additional Info

Additional Info (optional):	A water test is pending along with current septic certification
-----------------------------	---

Terms

Interior & Exterior Inspection

After your submitted application is accepted by Environmental Services, a staff member will contact you to schedule an interior inspection to verify the information provided in your application. It is the responsibility of the applicant to have the following in place prior to the inspection:
1. Smoke alarms and carbon monoxide alarms installed per MN State Fire Code
2. Fire extinguishers are in their designated places and meeting MN State Fire Code
3. Flow-measuring device installed on the septic system or well
4. Visual demarcations of the property lines

General Terms

<p>The landowner or authorized agent may make application for a zoning permit agreeing to do such work in accordance with all Aitkin County Ordinances. The landowner or authorized agent agrees that the application, site plan, and all other attachments submitted herewith are true and accurate and shall become a part of the permit. The landowner or authorized agent agrees that, in making application for a zoning permit, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County, State, or Federal Ordinances or Statutes.</p> <p>IT IS THE APPLICANTS SOLE RESPONSIBILITY TO CONTACT OTHER LOCAL, COUNTY, STATE, OR FEDERAL AGENGIES TO ENSURE THE APPLICANT HAS COMPLIED WITH ALL RELEVANT ORDINANCES OR STATUTES.</p>
<p>Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.</p>
<p>I acknowledge that by submitting this application, the application and its attachments are public information.</p>

Invoice #70588 (03/23/2026) Expected Payment Method: Pay Online - Card or ECheck

Charge	Cost	Quantity	Total
Recording Fee added 03/23/2026 11 48 AM This fee is non-refundable if denied.	\$46.00	x 1	\$46.00
Vacation/Short-Term Rental added 03/23/2026 11 48 AM This fee is non-refundable if denied.	\$650.00	x 1	\$650.00
Grand Total			
			Total
			\$696.00
			Payment 03/23/2026
			\$696.00
			Due
			\$0.00

Conditions of Permit

None

Approvals

Approval	Signature
Applicant	Jeff Popp - 04/08/2026 9:17 AM ed8dc6c72eec395e694e5f2cae84be36 613c7e3a9b98662e0281a93c77b9df49
#1 Administrative Staff	Shannon Wiebusch - 04/08/2026 9:29 AM 460071fde0ea563ce6c67a142f90089b d7d44547f8ea482b7075be1b62b58647
#2 Planning Commission	

Print View

CRV Filed

Auditor's CRV # 04772

No Delinquent Taxes and Transfer Entered

Kirk Peysar, County Auditor

State Deed Tax Paid

Lori Grams, County Treasurer

Doc No: **A459211**

WAD 1/1

Certified Filed and/or Recorded on

9/14/2020 9:00 AM

REC FEE \$46.00

SDT \$90.75

eCRV # 1148822

Office of the County Recorder

Aitkin County, Minnesota

Michael T. Moriarty, County Recorder

Package: **68046** Tara

This cover sheet was added by the Aitkin County Recorder's Office to allow space for the recording information of this document. It is not intended to alter the document/certified copy.

This cover sheet is now a permanent part of the recorded document.

(Top 3 inches reserved for recording data)

WARRANTY DEED

Business Entity to Individual(s)

Minnesota Uniform Conveyancing Blanks
Form 10.1.7 (2016)

eCRV number: 1148822

DEED TAX DUE: \$ 90.75

DATE: September 9, 2020
(month/day/year)

FOR VALUABLE CONSIDERATION, Settlers Ridge Properties, LLC
(insert name of Grantor)

a limited liability company under the laws of Minnesota ("Grantor"),

hereby conveys and warrants to Jeffrey A. Popp and Lisa A. Popp
(insert name of each Grantee)

("Grantee"), as

(Check only one box.) tenants in common, (If more than one Grantee is named above and either no box is checked or both boxes are checked, this conveyance is made to the named Grantees as tenants in common.)
 joint tenants,

real property in Aitkin County, Minnesota, legally described as follows:

→ Lot Four (4), Block One (1), The Refuge

Check here if all or part of the described real property is Registered (Torrens)

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:
reservations, restrictions and easements of record, if any.

2097435

Check applicable box:

- The Seller certifies that the Seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: _____.)
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor

Settlers Ridge Properties, LLC

(name of Grantor)

By: Donald J. Proulx
(signature) Donald J. Proulx

Its: _____
(type of authority) Chief Manager

By: _____
(signature)

Its: _____
(type of authority)

State of Minnesota, County of Aitkin

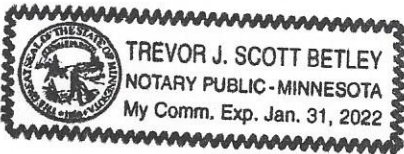
This instrument was acknowledged before me on September 9, 2020, by Donald J. Proulx
(month/day/year) (name of authorized signer)

as Chief Manager
(type of authority)

and by _____
(name of authorized signer)

as _____ of Settlers Ridge Properties, LLC
(type of authority) (name of Grantor)

(Stamp)



Trevor J. Scott Betley
(signature of notarial officer)

Title (and Rank): Notary

My commission expires: Jan. 31, 2022
(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
(insert name and address)

Aitkin County Abstract Company
112 3rd Street NW
Aitkin, MN 56431

File No. 31648

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:
(insert legal name and residential or business address of Grantee)

Jeffrey A Popp
Lisa A Popp
7159 95th St. NE.
Foley, MN 56329

Compliance inspection report form

Existing Subsurface Sewage Treatment System (SSTS)

Doc Type: Compliance and Enforcement

Instructions: Inspector must submit completed form to Local Governmental Unit (LGU) and system owner within 15 days of final determination of compliance or noncompliance. Instructions for filling out this form are located on the Minnesota Pollution Control Agency (MPCA) website at <https://www.pca.state.mn.us/sites/default/files/wq-wwists4-31a.pdf>.

Property information

Local tracking number: _____

Parcel ID# or Sec/Twp/Range: 39-1-088400 Reason for Inspection App. for C.U.P.
 Local regulatory authority info: Aitkin county Planning and Zoning Phone#218-927-7342
 Property address: 47952 226th. Pl.,McGregor,Mn.55760
 Owner/representative: Jeffery and Lisa Popp Owner's phone: _____
 Brief system description: 1650 gallon combo tank that gravity drains into a 10' x 50' rock bed 2' sand base mound.

System status

System status on date (mm/dd/yyyy): 4/7/2026

Compliant – Certificate of compliance*

Noncompliant – Notice of noncompliance

(Valid for 3 years from report date unless evidence of an imminent threat to public health or safety requiring removal and abatement under section 145A.04, subdivision 8 is discovered or a shorter time frame exists in Local Ordinance.)

Systems failing to protect ground water must be upgraded, replaced, or use discontinued within the time required by local ordinance.

***Note: Compliance indicates conformance with Minn. R. 7080.1500 as of system status date above and does not guarantee future performance.**

An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance or under section 145A.04 subdivision 8.

Reason(s) for noncompliance (check all applicable)

- Impact on public health (Compliance component #1) – *Imminent threat to public health and safety*
- Tank integrity (Compliance component #2) – *Failing to protect groundwater*
- Other Compliance Conditions (Compliance component #3) – *Imminent threat to public health and safety*
- Other Compliance Conditions (Compliance component #3) – *Failing to protect groundwater*
- System not abandoned according to Minn. R. 7080.2500 (Compliance component #3) – *Failing to protect groundwater*
- Soil separation (Compliance component #5) – *Failing to protect groundwater*
- Operating permit/monitoring plan requirements (Compliance component #4) – *Noncompliant - local ordinance applies*

Comments or recommendations

Certification

I hereby certify that all the necessary information has been gathered to determine the compliance status of this system. No determination of future system performance has been nor can be made due to unknown conditions during system construction, possible abuse of the system, inadequate maintenance, or future water usage.

By typing my name below, I certify the above statements to be true and correct, to the best of my knowledge, and that this information can be used for the purpose of processing this form.

Business name: Farley Sewer Systems Certification number: C-4744
 Inspector signature: Jarold R. Farley License number: L-1919
(This document has been electronically signed) Phone: 218-839-4737

Necessary or locally required supporting documentation (must be attached)

- Soil observation logs
- System/As-Built
- Locally required forms
- Tank Integrity Assessment
- Operating Permit
- Other information (list): Two previous soil verifications by Jeff Brummer and Kevin Turnock.

1. Impact on public health – Compliance component #1 of 5

Compliance criteria:

System discharges sewage to the ground surface	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
System discharges sewage to drain tile or surface waters.	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
System causes sewage backup into dwelling or establishment.	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No

Any "yes" answer above indicates the system is an imminent threat to public health and safety.

Describe verification methods and results:

Attached supporting documentation:

- Other: _____
- Not applicable

2. Tank integrity – Compliance component #2 of 5

Compliance criteria:

System consists of a seepage pit, cesspool, drywell, leaching pit, or other pit?	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
Sewage tank(s) leak below their designed operating depth?	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
If yes, which sewage tank(s) leaks: _____	

Any "yes" answer above indicates the system is failing to protect groundwater.

Describe verification methods and results:

Attached supporting documentation:

- Empty tank(s) viewed by inspector
 - Name of maintenance business: Kangas Ent.
 - License number of maintenance business: L-2526
 - Date of maintenance: 4/6/2026
- Existing tank integrity assessment (Attach)
 - Date of maintenance (mm/dd/yyyy): _____ (must be within three years)
 - (See form instructions to ensure assessment complies with Minn. R. 7082.0700 subp. 4 B (1))*
- Tank is Noncompliant (pumping not necessary – explain below)
- Other: _____

3. Other compliance conditions – Compliance component #3 of 5

3a. Maintenance hole covers appear to be structurally unsound (damaged, cracked, etc.), or unsecured?

Yes* No Unknown

3b. Other issues (electrical hazards, etc.) to immediately and adversely impact public health or safety? Yes* No Unknown

**Yes to 3a or 3b - System is an imminent threat to public health and safety.*

3c. System is non-protective of ground water for other conditions as determined by inspector? Yes* No

3d. System not abandoned in accordance with Minn. R. 7080.2500? Yes* No

**Yes to 3c or 3d - System is failing to protect groundwater.*

Describe verification methods and results:

Attached supporting documentation: Not applicable

4. Operating permit and nitrogen BMP* – Compliance component #4 of 5 Not applicable

Is the system operated under an Operating Permit? Yes No **If "yes", A below is required**

Is the system required to employ a Nitrogen BMP specified in the system design? Yes No **If "yes", B below is required**

BMP = Best Management Practice(s) specified in the system design

If the answer to both questions is "no", this section does not need to be completed.

Compliance criteria:

a. Have the operating permit requirements been met? Yes No

b. Is the required nitrogen BMP in place and properly functioning? Yes No

Any "no" answer indicates noncompliance.

Describe verification methods and results:

Attached supporting documentation: Operating permit (Attach)

5. Soil separation – Compliance component #5 of 5

Date of installation 12/1/2020 Unknown
(mm/dd/yyyy)

Shoreland/Wellhead protection/Food beverage lodging? Yes No

Compliance criteria (select one):

5a. For systems built prior to April 1, 1996, and not located in Shoreland or Wellhead Protection Area or not serving a food, beverage or lodging establishment: Yes No*
 Drainfield has at least a two-foot vertical separation distance from periodically saturated soil or bedrock.

5b. Non-performance systems built April 1, 1996, or later or for non-performance systems located in Shoreland or Wellhead Protection Areas or serving a food, beverage, or lodging establishment: Yes No*
 Drainfield has a three-foot vertical separation distance from periodically saturated soil or bedrock.*

5c. "Experimental", "Other", or "Performance" systems built under pre-2008 Rules; Type IV or V systems built under 2008 Rules 7080. 2350 or 7080.2400 (Intermediate Inspector License required ≤ 2,500 gallons per day; Advanced Inspector License required > 2,500 gallons per day) Yes No*
 Drainfield meets the designed vertical separation distance from periodically saturated soil or bedrock.

Attached supporting documentation:

- Soil observation logs completed for the report
- Two previous verifications of required vertical separation
- Not applicable (No soil treatment area)
- _____

Indicate depths or elevations

A. Bottom of distribution media	102
B. Periodically saturated soil/bedrock	99
C. System separation	36"
D. Required compliance separation*	36"

*May be reduced up to 15 percent if allowed by Local Ordinance.

***Any "no" answer above indicates the system is failing to protect groundwater.**

Describe verification methods and results:

Upgrade requirements: (Minn. Stat. § 115.55) An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance. If the system is failing to protect ground water, the system must be upgraded, replaced, or its use discontinued within the time required by local ordinance. If an existing system is not failing as defined in law, and has at least two feet of design soil separation, then the system need not be upgraded, repaired, replaced, or its use discontinued, notwithstanding any local ordinance that is more strict. This provision does not apply to systems in shoreland areas, Wellhead Protection Areas, or those used in connection with food, beverage, and lodging establishments as defined in law.

FARLEY SEWER SYSTEMS

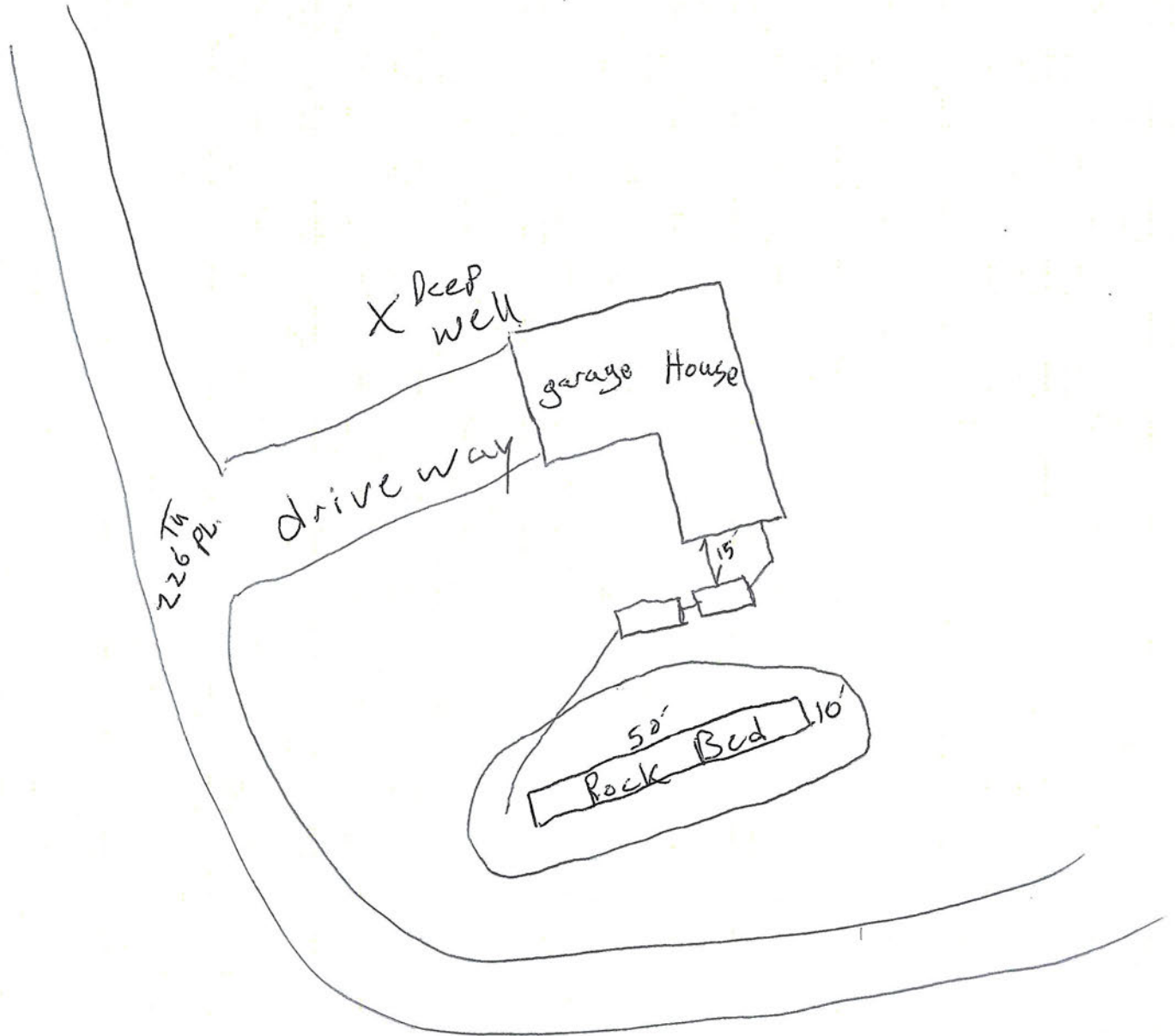
SEWER DESIGN & INSTALLATION

JAROLD R. FARLEY

P.O. Box 472
McGregor, MN 55760

Bus. Lic. No. L1919
Reg. No. 4744

218-839-4737 cell



**SUBSURFACE SEWAGE TREATMENT SYSTEM INSPECTION FORM
AITKIN COUNTY, MINNESOTA**

Township Weekman Date of Inspection 12-1-2020 App. Number 2020-006557
 Owner Jeffrey & Lisa Popp Parcel Number ~~39-1-075700~~ 39-1-088400
 Project Address 47952 226th RL Installer Adam Lund
 City McCaughey Zip Code 55760

New Repair

SETBACKS:

Buildings to tank(s) 14'
 Buildings to drainfield >20'
 Well(s) 50' or 100' >50'
 Lake/Creek/Wetland -

SEPTIC TANKS: New Existing

Number of tanks installed 2 1-comp 1-Lift

Liquid capacity and type 1650 2-comp Precast

Type of baffle Plastic

Inspection pipes -

Manholes size 2@24", 1@20"

Manhole to grade Yes No

Jacobson Precast Tanks

PUMPS: New Existing

Tank capacity and type 1500 Precast

Pump manufacturer & model # FE151 Goulds

Horsepower & GPM 5 89 GPM

Feet of head 19

Gallons per cycle 90

Size of discharge line 2"

Type & location of alarm Elec @ Tank

Water meter -

DIST. or DROP BOX & TYPE _____

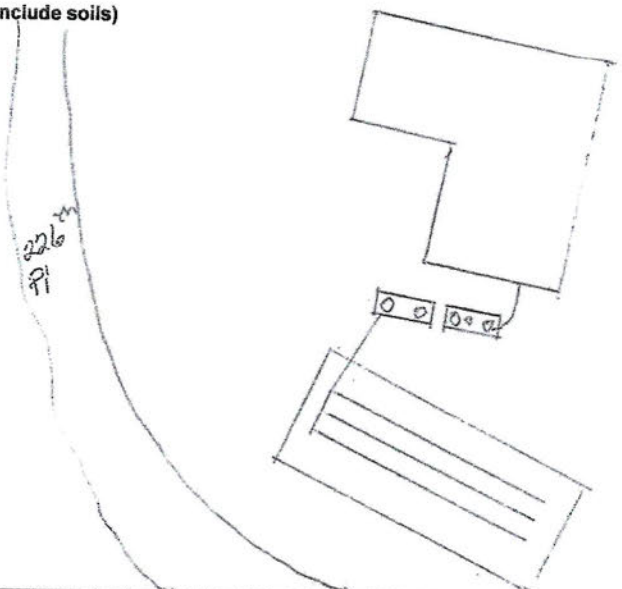
TRENCHES, BEDS, OR GRAVELLESS LEACHFIELD:

Trench/Bed depth _____
 Trench/Bed length _____
 Trench/Bed bottom width _____
 Trench spacing _____
 Drainfield rock below pipe _____
 Size of gravelless pipe _____
 Depth of backfill _____
 Absorption area: square feet _____
 lineal feet _____

MOUNDS:

Percent slope 1 1/2%
 Upslope sand width 12'
 Downslope sand width 13'
 Sideslope sand width 12'
 Drainfield rock below pipe 9"
 Depth of sand below rock 24"
 Perforation size & spacing 7/22 x 3
 Pipe size & spacing 1 1/2 x 3
 Dimensions of rock bed 10 x 50
 Dimensions of sand base 35 x 25
 Final cover 18" Top 12" sides

DRAWING OF SYSTEM: (include soils)



Inspector's Comments: _____

Inspector's Signature [Signature] Installer's Signature _____

Soil Observation Log

www.SepticResource.com vers 12.4

Owner Information	
Property Owner / project: <u>Jeffrey Popp</u>	Date <u>9/2/2020</u>
Property Address / PID: <u>39-1-088400 Lot 4 Blk-1</u>	

Soil Survey Information	
<input type="checkbox"/> refer to attached soil survey	
Parent matl's:	<input type="checkbox"/> Till <input checked="" type="checkbox"/> Outwash <input type="checkbox"/> Lacustrine <input type="checkbox"/> Alluvium <input type="checkbox"/> Organic <input type="checkbox"/> Bedrock
landscape position:	<input type="checkbox"/> Summit <input type="checkbox"/> Shoulder <input checked="" type="checkbox"/> Side slope <input type="checkbox"/> Toe slope
soil survey map units:	<u>564</u> slope <u>1</u> % direction- <u>South</u>

Soil Pit #1							
		<input checked="" type="checkbox"/> Boring <input type="checkbox"/> Pit	Elevation <u>98'</u>	Depth to SHWT <u>16"</u>			
Depth (in)	Texture	fragment %	matrix color	redox color	consistence	grade	shape
0 - 6	Topsoil Sandy Loam	<35	10YR3/2		Loose	Loose	Granular
6 - 16	Sandy Loam	<35	10YR5/4		Loose	Loose	Granular
16 - 22	Sandy Loam	<35	10YR5/4	7.5YR5/6 & 10YR6/2	Loose	Loose	Granular

Comments: ~~Byron H. & Adam Ladd confirmed soils 8/24/2020 soil pit #1~~

39-1-088400 Lot 4 Blk-1		Soil Log #2					
		<input checked="" type="checkbox"/> Boring	<input type="checkbox"/> Pit	Elevation <u>98'</u>	Depth to SHWT <u>14'</u>		
Depth (in)	Texture	fragment %	matrix color	redox color	consistence	grade	shape
0 - 6	Topsoil Sandy Loam	<35	10YR3/2		Loose	Loose	Granular
6 - 14	Sandy Loam	<35	10YR5/4		Loose	Loose	Granular
14 - 20	Sandy Loam	<35	10YR5/4	7.5YR5/6 & 10YR6/2	Loose	Loose	Granular

39-1-088400 Lot 4 Blk-1		Soil Log #3					
		<input checked="" type="checkbox"/> Boring	<input type="checkbox"/> Pit	Elevation <u>98.1'</u>	Depth to SHWT <u>13"</u>		
Depth (in)	Texture	fragment %	matrix color	redox color	consistence	grade	shape
0 - 6	Topsoil Sandy Loam	<35	10YR3/2		Loose	Loose	Granular
6 - 13	Sandy Loam	<35	10YR5/4		Loose	Loose	Granular
13 - 20	Sandy Loam	<35	10YR5/4	7.5YR5/6 & 10YR6/2	Loose	Loose	Granular
		<35					
		<35 35 - 50 >50			loose friable firm rigid	loose weak moderate strong	single grain granular blocky prismatic platy massive

I hereby certify this work was completed in accordance with MN 7080 and any local req's.


 Designer Signature

Brummer Septic LLC.
 Company

L-1347
 License #

Analysis Report

April 03, 2026

REPORT TO:

Popp, Jeff
47952 226th PI
McGregor MN 55760

INVOICE TO:

Date Rcvd-Brnd: 4/1/2026
Time Rcvd-Brnd: 12:26

Sampled By: Brandon Popp
Sample Type: DW
Recv Temp°C: 23.4 on ice
TYPE: Well Water

LOCATION:
Popp, Jeff
47952 226th PI
McGregor MN 55760

SITE / TEST PERFORMED	Sample Date/Time	Your Result	Units	Acceptable Level	Analytical Method	Analysis Date/Time	Analyst	Code #
Kitchen Tap - Soft/Filt		4/1/2026 @ 08:00						
Coliform, Total		ABSENT	/100mL	ABSENT	SM 9223 B (COLISURE)-2016	4/1/26 13:43	KU	127143
Eschericha coli (E. coli)		ABSENT	/100mL	ABSENT	SM 9223 B (COLISURE)-2016	4/1/26 13:43	KU	127143
Nitrate, as N		< 0.500	mg/L	< 10	EPA 353.2 REV 2.0	4/1/26 14:37	ZP	127143

Samples not received in AWRL containers, analyzed at clients request.

Approved By: 

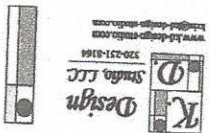
Date Approved: 4/3/2026

Stephanie Kuesel, Laboratory Manager

A.W. Research Laboratories, Inc. is accredited by the MNELAP and follows approved methods and procedures. MN State Laboratory ID: 027-035-135 and EPA Lab Code: MN00098. All data generated using non-accredited methods noted as -NC, and all analytes for which accreditation is unavailable -NA. The results above relate only to the samples tested. This report must not be reproduced, except in full, without the written approval of the laboratory. We appreciate your feedback, please email us at awlab@awlab.com with questions or comments. Thank you!

~End of Analysis Report~





DISCLAIMER OF WARRANTIES
 The undersigned represents and warrants that the drawings and specifications are prepared by the undersigned and are to be used for the construction of the project described herein. The undersigned does not warrant the accuracy or completeness of the information provided by the client or any third party. The undersigned shall not be responsible for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom. The undersigned shall not be responsible for any delays or interruptions in the construction of the project, or for any other matters not specifically mentioned herein.

POPP - Mcgregor plans

REVISION#	DATE
1	08.10.12
2	08.10.12
3	08.10.12
4	08.10.12
5	08.10.12
6	08.10.12
7	08.10.12
8	08.10.12
9	08.10.12
10	08.10.12

PROJECT NO. 1111
 SECOND FLOOR PLAN
 SHEET NO. 4
 OF 4

SMOKE ALARM
 CO Detector



PLEASE NOTE: ALL INDOOR DOOR WEIGHS TO BE USED BY SUPPLIER AND PROVIDED TO BUILDING OFFICIAL PRIOR TO CONSTRUCTION.

SECOND LEVEL FLOOR PLAN
 950 SQ FT



39-1-088300

39-0-041900

39-1-088600

39-0-041900

39-1-088500

21100.3'

EL. 100.0'

149.93

168'

22' x 27'

PATIO
20' x 12'

+ 2
STAIR

GARAGE

39-1-088400

Septic
50' x 10'

189'

70'

153.09

103.92

Tree
diam 100'

97.53

EL 97.5'

see septic plan for specific info

780' TO LAKE

480TH ST

3



Conditional Use Permit (general) App. # 2026-000086, UID # 221394
App. Status: Pending Review

Aitkin County Planning & Zoning / Environmental Services
307 Second St. NW Room 219, Aitkin, MN 56431
Email: aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

Contact Information

Are you the property owner?	<u>Yes</u>
Applicant Contact Info:	<p>Name Mike and Shannon Williams</p> <p>Phone: [REDACTED]</p> <p>Email Address: [REDACTED]</p> <p>Mailing Address 45071 cherry st aitkin mn 56431</p>
Have you had a pre-application meeting with the Planning & Zoning Department?	<u>Yes</u>

Project Location

Property:	Property Location								Property Attributes	
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	11-0-000801	21796 442nd PI AITKIN, MN 56431	HAZELTON TWP	WILLIAMS, MICHAEL & SHANNON	WILLIAMS, MICHAEL & SHANNON	PART OF GOVT LOT 1 LYING SW OF CSAH 37 AS IN DOC# 466439		S:5 T:44 R:27	GD	MILLE LACS
Driving directions from Aitkin to Property:	South on 169 just south of Myr Mar Marina									

Brief Narrative

<p>Brief Narrative:</p>	<p>Real estate office/small business/storage/food trucks.</p> <p>This proposal project involves the adaptive reuse of an existing building on the property to support several small scale commercial activities. The front portion of the building will function as a real estate office and small boutique retail space. The larger rear garage will be used for storage.</p> <p>The property may also host food trucks and small accessory structures to support local businesses and community activities. All uses will remain small in scale and consistent with the rural setting of the property.</p> <p>The intent of this project is to create a welcoming local destination that supports small businesses while maintaining compatibility with the surrounding environment and neighboring properties.</p>
<p>Provide a detailed explanation on why and how this proposal is meeting the Comprehensive Land Use Plan for Aitkin County.:</p>	<p>This proposal supports the goals of the Aitkin County Comprehensive Land Use Plan by promoting small scale rural economic development while maintaining the character of the surrounding area. Th project proposes an existing structure and property to create a mixed use space that includes a real estate office, boutique retail space, and limited storage within the existing garage space. The proposal encourages responsible use of existing infrastructure while minimizing environmental impact. The addition of small local food trucks and small accessory buildings will support local entrepreneurs and tourism while remaining appropriately scaled for the setting.</p> <p>The project aligns with the County's goals of supporting local business development, promoting tourism within the Mille Lacs area, and encouraging thoughtful reuse of existing properties rather than large scale development. The proposal will enhance the local economy while maintaining compatibility with the surrounding lakeshore environment.</p>
<p>How will this proposal be compatible with existing land uses?</p>	<p>The proposed use is designed to remain compatible with the surrounding land uses by maintaining a small scale, low impact business model that fits within the character of the area. The primary structure will house a real estate office and small boutique retail space in the front portion of the building, while the existing garage will continue to be used for storage.</p> <p>Additional activity on the property will be carefully managed. Food trucks may operate on the site in the front or side lot, and accessory building will be modest in size.</p> <p>Traffic generated by the business is expected to be similar to typical residential or small commercial activity.</p> <p>Overall, the project enhances the property while maintaining the quiet, rural character of the area.</p>
<p>Is this proposal meeting the Findings of Fact?</p>	<p><u>Yes</u></p>

Detailed Operational Plan

Detailed Operational Plan:

Operations Plan

LakeBound Team / Lake Side Market and Makers Space Mixed Use Rural Commercial Property

1. Overview of Operations

The proposed project is a small scale use commercial operation utilizing the existing structure and surrounding property. The operation will consist of three primary functions; a real estate office, a small boutique retail space, and commercial storage with the existing garage structure.

Additional uses may include food trucks and small accessory structures to support local business and tourism.

The operation is designed to remain low impact, small scale, and compatible with the surrounding rural lakeshore environment.

2. Primary Business Uses

Real Estate Office

The real estate office will occupy a portion of the building and will be used for; administrative work, client meeting, listing and transaction management, and meetings with buyers and sellers.

Operational Characteristics

Primary office based work with low foot traffic and minimal customer parking demands.

Boutique Retail Space

A small boutique retail area will also be located in the front of the building. The boutique will offer; locally made artisan goods limited inventory storage, and walk in customers. The boutique is designed to support local makers and small businesses while maintaining a quiet retail environment.

3. Garage Storage Area

The rear portion if the building consists of a large existing garage structure which will be used for storage uses.

Potential Storage Uses;

Boats, jet skis, seasonal recreation equipment, property maintenance equipment, small business storage needs.

Operational Characteristics

Seasonal use with limited daily access. No mechanical or repair activities. No hazardous materials stored. This use is consistent with common rural property storage practices.

4. Food Truck Operations

The property may allow food truck operations. Food trucks permitted may include; coffee trucks, ice cream trucks, light meal vendors, seasonal food vendors.

Operational Guidelines

Food trucks will operate outdoors only and will operate under their own licenses and permits. Waste removal will be handled by the vendor.

Food trucks are intended to provide light food operations for visitors and support local small businesses.

5. Accessory Structures

Small accessory structures may be placed on the property to support local businesses. Possible structures may include; small sheds, greenhouses, small fish houses, and more. These structures will be small in scale, designed to match rural character, and located to minimize impact on neighboring properties.

Hours of Operation will vary in summer months. Real estate office hours will also vary.

Typical operating hours

Monday-Saturday

10:00-22:00

Sundays

By appointment only

Storage access may occur outside of these hours. Food trucks will operate only during daylight hours into early evening hours.

Traffic and Parking

Traffic generated by the business is expected to be minimal and similar to any small retail or office use. Parking will be accommodated on site.

Parking Plan

Parking will include space for staff, vendor, and customer vehicles. Parking will be arranged to allow for safe entry and exit from the property.

Floor Plan Description

The existing building will be divided into two primary functional areas

Front Portion of Building;

Real estate office space, boutique retail area, customer reception and meeting area, restroom. This area will serve as the primary customer facing portion of the business.

Rear Portion of Building;

The larger rear area of the building will consist of an existing garage structure that will be used for boat and recreational equipment storage, seasonal storage, and business equipment storage. This area will not be accessible to the public except by arrangement for storage access.

Number of Employees

The business will employ approximately 4-5 employees. Employees will include real estate professionals and administrative staff, boutique retail staff, and general support staff.

Equipment Used

The equipment used for business operations will be typical for a small office and boutique retail operation. This might include office equipment like computers and monitors, printers and scanners, office desks and chairs, filing cabinets, display shelving and racks, sales counter and point of sale system, product display tables, retail storage shelving, lawn care equipment, snow removal equipment, basic maintenance tools.

A Scaled Drawing


Attach Scaled Drawing:

File 1: [ALTA_Commitment_for_Title_Insurance_07-01-21_2.pdf](#)

File 2: [COS_04-14-2026.pdf](#)

File 3: [Screenshot_2026-03-15_at_3.43.32PM.png](#)

Septic Compliance

Is there an existing septic system on the property?	<u>Yes</u>
If you answered Yes, please attach one of the following: - A current compliance inspection on the existing septic system. - A design for a new/replacement septic system.	File 1:  Williams_Mike__CI.pdf

Property Deed

Please attach the property deed(s):	File 1:  AITKIN_COUNTY_-_REC-REAL_EST_-_490418.pdf
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Additional Info

Additional Information (if necessary):	Property was a prior golf cart business. Septic compliance will be done this spring.
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Terms

Conditional Use Terms & Conditions

The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.

Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.

The landowner or authorized agent may make application for a zoning permit agreeing to do such work in accordance with all Aitkin County Ordinances. The landowner or authorized agent agrees that the application, site plan, and all other attachments submitted herewith are true and accurate and shall become a part of the permit. The landowner or authorized agent agrees that, in making application for a zoning permit, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County, State, or Federal Ordinances or Statutes.

IT IS THE APPLICANTS SOLE RESPONSIBILITY TO CONTACT OTHER LOCAL, COUNTY, STATE, OR FEDERAL AGENGIES TO ENSURE THE APPLICANT HAS COMPLIED WITH ALL RELEVANT ORDINANCES OR STATUTES.

All corners of the proposed structure(s) need to be staked with visible flags, ribbon, or lathes prior to onsite inspection by Aitkin County.

Conditional Use Permit fees are non-refundable if denied or approved.

I acknowledge that by submitting this application, the application and its attachments are public information.

Invoice #70293 (03/15/2026) Expected Payment Method: Check to be mailed

Charge	Cost	Quantity	Total
Conditional Use Application Fee added 03/15/2026 4 09 PM \$650 Flat Fee	\$650.00	x 1	\$650.00
Recording Fee added 03/15/2026 4 09 PM \$46 Flat Fee	\$46.00	x 1	\$46.00
Grand Total			
			Total
			\$696.00
			Payment 03/19/2026
			\$696.00
			Due
			\$0.00

Conditions of Permit

None

Approvals

Approval	Signature
Applicant	Michael d. williams - 04/10/2026 12:05 PM cecb62b50150048db9cc11a7308bd2b8 602d600cefa6cc49d3ec2921592ed61d
#1 Admin	Shannon Wiebusch - 04/14/2026 3:43 PM 3371adb0ab3198dfb3db340503b8b5c 69b8e0e857794600c3822a4d04917704
#2 Planning Commission	

Print View

COMMITMENT FOR TITLE INSURANCE

ISSUED BY
STEWART TITLE GUARANTY COMPANY

File No.: I-63166

Commitment No.:

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I - Requirements; Schedule B, Part II - Exceptions; and the Commitment Conditions, Stewart Title Guaranty Company, a Texas company (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I - Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- a. "Discriminatory Covenant": Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
- b. "Knowledge" or "Known": Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
- c. "Land": The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term "Land" does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Stewart Title Guaranty Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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- d. "Mortgage": A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
 - e. "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
 - f. "Proposed Amount of Insurance": Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
 - g. "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
 - h. "Public Records": The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term "Public Records" does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
 - i. "State": The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term "State" also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
 - j. "Title": The estate or interest in the Land identified in Item 3 of Schedule A.
2. If all of the Schedule B, Part I - Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
 3. The Company's liability and obligation is limited by and this Commitment is not valid without:
 - a. the Notice;
 - b. the Commitment to Issue Policy;
 - c. the Commitment Conditions;
 - d. Schedule A;
 - e. Schedule B, Part I - Requirements; and
 - f. Schedule B, Part II - Exceptions; and
 - g. a counter-signature by the Company or its issuing agent that may be in electronic form.
 4. **COMPANY'S RIGHT TO AMEND**
The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.
 5. **LIMITATIONS OF LIABILITY**
 - a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I - Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II - Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
 - b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
 - c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
 - d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.

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- e. The Company is not liable for the content of the Transaction Identification Data, if any.
 - f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I - Requirements have been met to the satisfaction of the Company.
 - g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.
6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM
- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
 - b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.
 - c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
 - d. The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
 - e. Any amendment or endorsement to this Commitment must be in writing.
 - f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.
7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT
- The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.
8. PRO-FORMA POLICY
- The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.
9. CLAIMS PROCEDURES
- This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.
10. CLASS ACTION
- ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

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11. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Amount of Insurance is \$2,000,000 or less may be arbitrated at the election of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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COMMITMENT FOR TITLE INSURANCE

ISSUED BY
STEWART TITLE GUARANTY COMPANY

File No.: I-63166

Commitment No.:

Transaction Identification Data, for which the Company assumes no liability as set forth in Commitment Condition 5.e.:

Issuing Agent: Atlas Abstract & Title, Inc.
Issuing Office: 204 S. 8th St, Brainerd, MN 56401
Issuing Office's ALTA® Registry ID: 1070961
Loan ID No.:
Commitment No.:
Issuing Office File No.: I-63166
Property Address: 21796 442nd Place, Aitkin, MN 56431

SCHEDULE A

1. Commitment Date: September 17, 2025 at 08:00 AM
2. Policy to be issued:
 - a. 2021 ALTA Owner's Policy (07/01/21)
Proposed Insured: Michael Williams and Shannon Williams
Proposed Amount of Insurance: \$195,000.00
The estate or interest to be insured: Fee Simple
 - b. 2021 ALTA Loan Policy (07/01/21)
Proposed Insured: Greater Community Credit Union
Proposed Amount of Insurance: \$156,000.00
The estate or interest to be insured: Fee Simple
3. The estate or interest in the Land at the Commitment Date is:

Fee Simple
4. The Title is, at the Commitment Date, vested in:

JABEZ HOLDINGS as evidenced by Quitclaim Deed dated September 9, 2021, filed September 10, 2021 as [Document No. 466439](#).
5. The Land is described as follows:

SEE SCHEDULE C ATTACHED HERETO

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SCHEDULE A
(Continued)

Issued through the Office of:
Atlas Abstract & Title, Inc.
204 S. 8th St.
Brainerd, MN 56401
218-828-3910





Frederick H. Eppinger
President and CEO



David Hisey
Secretary

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COMMITMENT FOR TITLE INSURANCE

ISSUED BY
STEWART TITLE GUARANTY COMPANY

File No.: I-63166

Commitment No.:

SCHEDULE B, PART I Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. If an Owner's Policy of Title Insurance is not ordered at the closing, Company's "Notice of Availability of Owner's Title Insurance" form must be signed by the mortgagors.
6. Company's "Affidavit of Purchaser" executed by Buyers.
7. Company's "Affidavit of Seller" executed by Sellers.
8. Well Disclosure Certificate; or else a deed which contains the following statement: "The Seller certifies that the Seller does not know of any well on the described property".
9. Warranty Deed from Jabez Holdings, to Michael Williams and Shannon Williams as Joint Tenants.
10. Mortgage Deed in the amount of \$156,000.00, naming Michael Williams and Shannon Williams as spouses married to each other, as mortgagor and naming proposed insured as mortgagee.
11. Satisfaction of Mortgage dated January 10, 2022, filed February 7, 2022, as [Document Number 469505](#), executed by Jabez Holding LLC, to Jabez Holding LLC to secure \$120,000.00. Said mortgage assigned to Hardy Accounting Ltd by the Assignment of mortgage dated September 10, 2024, filed September 16, 2024 as [Document No. 483774](#).
12. Need to obtain a Certificate of Incumbency and a Certificate of Good Standing for JABEZ HOLDINGS.
13. ***2024 taxes are delinquent in the amount of \$3,122.09 thru the end of September.

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Commitment for Title Insurance (07-01-2021)
Schedule BI



I-63166

COMMITMENT FOR TITLE INSURANCE

ISSUED BY
STEWART TITLE GUARANTY COMPANY

File No.: I-63166

Commitment No.:

SCHEDULE B, PART II Exceptions

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
2. Facts which would be disclosed by a comprehensive survey of the premises herein described
3. Rights and claims of parties in possession.
4. Mechanics', Contractors or Materialmen's liens and lien claims, if any, where no notice thereof appears of record.
5. Liens or deferred charges not shown on the tax roll, for installations and connection of water and sewer laterals, mains and service pipes.
6. Special taxes or assessments, if any, payable with taxes levied or to be levied for the current and subsequent years.
7. Rights of others thereto entitled in and to the continued uninterrupted flow of water through ditches crossing insured premises or along the boundary line, if any.
8. Local, city, county or airport ordinances which may affect development or use of property.
9. Any change in title occurring subsequent to the effective date of this Commitment and prior to the date of issuance of the Title Policy.
10. Easements or claims of easements not recorded in the public records.

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ALTA Commitment for Title Insurance (07-01-2021)
Schedule BII



I-63166

SCHEDULE B, PART II

(Continued)

11. Real estate taxes for the year 2025 are \$1,974.00 and are Unpaid plus Penalty. Parcel Number: 11-0-000801. Property is Non-Homestead.
Note: 2024 and prior years taxes are unpaid.
Note: First half installment due May 15th. Second half installment due October 15th.
12. There are no levied assessments.
13. Rights of the public and the State of Minnesota to use that part of the premises which lies below natural high water mark of Mille Lacs Lake.
14. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey and inspection of the premises.
15. Subject to the right of way of County State Aid Highway No. 37.
16. Subject to the Sanitary Sewer Easement filed September 7, 1979 as [Document No. 204015](#).
17. Subject to the Septic System Easements and Agreement filed August 26, 1994 as [Document No. 286263](#).

NOTE: AN OWNER'S POLICY ISSUED IN CONNECTION WITH THIS COMMITMENT WILL CONTAIN THE FOLLOWING PRE-PRINTED EXCEPTIONS:

1. Unrecorded easements, discrepancies or conflicts in boundary lines, shortage in area and encroachments which an accurate and complete survey would disclose.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Stewart Title Guaranty Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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ALTA Commitment for Title Insurance (07-01-2021)
Schedule BII



I-63166

COMMITMENT FOR TITLE INSURANCE

ISSUED BY
STEWART TITLE GUARANTY COMPANY

File No.: I-63166

Commitment No.:

SCHEDULE C

The Land is described as follows:

That part of Government Lot One (1), Section Five (5), Township Forty-four (44), Range Twenty-seven (27), lying Southeasterly of the Aitkin County State Aid Highway No. 37 (old U.S. Trunk Highway No. 169), described as follows: Commencing at the Northeast corner of said Section 5; thence South 0 degrees 31 minutes 05 seconds West on an assumed bearing along the East line of Government Lot 1, a distance of 568.65 feet to the Southeasterly right-of-way line of Aitkin County State Aid Highway No. 37; thence South 58 degrees 47 minutes 20 seconds West along said right-of-way line, a distance of 659.00 feet to the point of beginning of the land to be described; thence North 58 degrees 47 minutes 20 seconds East along said right-of-way line a distance of 356.96 feet; thence South 29 degrees 51 minutes 40 seconds East a distance of 151.00 feet; thence South 41 degrees 20 minutes 54 seconds East a distance of 157.00 feet, more or less, to the shoreline of Mille Lacs Lake; thence Southwesterly along said shoreline 383.00 feet, more or less, to a point of intersection with a line bearing South 31 degrees 12 minutes 40 seconds East from the point of beginning; thence North 31 degrees 12 minutes 40 seconds West a distance of 341.00 feet, more or less, to the point of beginning.

County: Aitkin
Property type: Abstract

CRV Filed
No Delinquent Taxes and Transfer Entered
Kathleen Ryan, County Auditor
State Deed Tax Paid
Lori Grams, County Treasurer

Doc No: **A490418**

BKD 2/3

Certified Filed and/or Recorded on
12/3/2025 1:45 PM

REC FEE \$46.00
SDT \$643.50
eCRV # 1827074

Office of the County Recorder
Aitkin County, Minnesota
Tara Snyder, County Recorder

Package: 99145 Mary

(space above line reserved for recording data)

INSTRUMENT OF TRANSFER OF REAL PROPERTY

eCRV: 1827074

DEED TAX DUE: \$ 643.50

Date: November 6, 2025

**UNITED STATES BANKRUPTCY COURT
DISTRICT OF MINNESOTA**

In RE:)
Kaitlyn Johnson,)
)
Debtor.)

Case No. 24-42863
Chapter 7
CONVEYANCE OF REAL PROPERTY OF THE ESTATE

For valuable consideration, **ERIK A. AHLGREN**, Grantor, the trustee and as the Representative of the Estate of the Debtor under U.S.C. §§323(a) or 1107(a) in the above titled bankruptcy case, which case is now pending, hereby conveys to **Michael Williams and Shannon Williams, husband and wife**, Grantee(s), all of the bankruptcy estate's interest in real property in Aitkin County, State of Minnesota, described as follows:

→ See Exhibit A

Affix Deed Tax Stamp Here


TRUSTEE

Erik A. Ahlgren

EXHIBIT A

→ The part of Government Lot One (1), Section Five (5), Township Forty-four (44), Range Twenty-seven (27), lying Southeasterly of Aitkin County State Aid Highway No. 37 (old U.S. Trunk Highway No. 169) described as follows:

Commencing at northeast corner of said Section 5; thence South 0 degrees 31 minutes 05 seconds West on an assumed bearing along the East line of Government Lot 1, a distance of 568.65 feet to the Southeasterly right-of-way line of Aitkin County State Aid Highway NO. 37 thence South 58 degrees 47 minutes 20 seconds West along said right-of-way line, a distance of 659.00 feet, to the point of the beginning of the land to be described; thence north 58 degrees 47 minutes 20 seconds east along said right-of-way line, a distance of 356.96 feet; thence South 29 degrees 51 minutes 40 seconds East, a distance of 151.00 feet; Thence South 41 degrees 20 minutes 54 seconds East a distance of 157.0 feet, more or less, to the shoreline of Mille Lacs Lake; thence southwesterly along said shoreline 383.0 feet more or less to a point of intersection with a line bearing S 31 degrees 12 minutes 40 seconds East from the point of beginning thence North 31 degrees 12 minutes 40 seconds West a distance of 341.0 feet, more or less, to the point of beginning.

11-0-000901

Property Address: 21796 442nd Place Pittsford 56431
Business Name: RT Services LLC

Date: 4-8-26

1. Impact on public health – Compliance component #1 of 5

Compliance criteria:	
System discharges sewage to the ground surface	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
System discharges sewage to drain tile or surface waters.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
System causes sewage backup into dwelling or establishment.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Attached supporting documentation:
 Other: _____
 Not applicable

Describe verification methods and results: checking for surface water from drain field or backing up into tank, looking for ponding in drain field

2. Tank integrity – Compliance component #2 of 5

Compliance criteria:	
System consists of a seepage pit, cesspool, drywell, leaching pit, or other pit?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Sewage tank(s) leak below their designed operating depth?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, which sewage tank(s) leaks:	

holding tank only

Attached supporting documentation:
 Empty tank(s) viewed by inspector
 Name of maintenance business: Topo Septic Pumping
 License number of maintenance business: 4488
 Date of maintenance: 4-8-26
 Existing tank integrity assessment (Attach)
 Date of maintenance (mm/dd/yyyy): _____ (must be within three years)
 (See form instructions to ensure assessment complies with Minn. R. 7082.0700 subp. 4 B (1))
 Tank is Noncompliant (pumping not necessary – explain below)
 Other: _____

Describe verification methods and results: checking for crack after pumping, for run back checking for tank level before pumping Probe outside tank for sewer manholes
holding tank only

Sewage tank integrity assessment form

Subsurface Sewage Treatment Systems (SSTS) Program

11-0-000901

Doc Type: Compliance and Enforcement

Purpose: This form may be used to certify the compliance status of the sewage tank components of the SSTS. This form is not a complete SSTS inspection report, only a tank integrity assessment, and may only certify sewage tank compliance status when entirely completed and signed by a qualified professional. SSTS compliance inspection report forms can be found at: <https://www.pca.state.mn.us/water/inspections>.

Instructions: This form may be completed, and signed, by a Designated Certified Individual (DCI) of a licensed SSTS inspection, maintenance, installation, or service provider business who personally conducts the necessary procedures to assess the compliance status of each sewage tank in the system. Only a licensed maintenance business is authorized to pump the tank for assessment. A copy of this information should be submitted to the system owner and be maintained by the licensed SSTS business for a period of five (5) years from the assessment date.

When this form is signed by a qualified certified professional, it becomes *necessary supporting documentation* to an Existing System Compliance Inspection Report: [Compliance inspection form - Existing system \(wq-wists4-31b\)](https://www.pca.state.mn.us/water/inspections). This form can be found on the MPCA website at <https://www.pca.state.mn.us/water/inspections>.

The information and certified statement on this form is required when existing septic tank compliance status is determined by an individual other than the SSTS Inspector that submits an inspection report. This form represents a third party assessment of SSTS component compliance and is allowable under Minn. R. 7082.0700, subp. 4(B)(1). This form is valid for a period of three years beyond the signature date on this form unless a new evaluation is requested by the owner or owner's agent or is required according to local regulations. Additional Administrative Rule references for this activity can be found at Minn. R. 7082.0700, subp. 4(B),(C), and (D) and Minn. R. 7083.0730(C).

Owner information

Owner/Representative: M. Keenan Williams
 Property address: 21746 442nd Place Arden 56431
 Local Regulatory Authority: MPCA Parcel ID: _____

System status

System status on date (mm/dd/yyyy): 4-8-26

Certificate of sewage tank compliance Notice of sewage tank non-compliance

Compliance criteria:

The SSTS has a seepage pit, cesspool, drywell, leaching pit, or other pit - "Failure to Protect Groundwater."	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
The SSTS has a sewage tank that leaks below the designed operating depth - "Failure to Protect Groundwater."	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
The SSTS presents a threat to public safety by reason of structurally unsound (damaged, cracked, or weak) maintenance hole cover(s) or lids or any other unsafe condition - "Imminent Threat to Public Health or Safety."	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Company information

Company name: BT Services LLC
 Business license number: 2029

Designated Certified Individual (DCI) information

Print name: Bob Bartel
 Certification number: C3181

I personally conducted the work described above as a Designated Certified Individual of a Minnesota-licensed SSTS inspection, maintenance, installation, or service provider Business. I personally conducted the necessary procedures to assess the compliance status of each sewage tank in this SSTS.

By typing/signing my name below, I certify the above statements to be true and correct, to the best of my knowledge, and that this information can be used for the purpose of processing this form.

Designated Certified Individual's signature: Bob Bartel Date (mm/dd/yyyy): 4-8-26
 (This document has been electronically signed.)

Property Address: 217 96 442nd Place 11-0-000801
Business Name: RT Services LLC Atkin 56431
Date: 4-8-20

3. Other compliance conditions – Compliance component #3 of 5

- 3a. Maintenance hole covers appear to be structurally unsound (damaged, cracked, etc.), or unsecured?
 Yes No Unknown
- 3b. Other issues (electrical hazards, etc.) to immediately and adversely impact public health or safety? Yes No Unknown
- 3c. System is non-protective of ground water for other conditions as determined by inspector? Yes No
- 3d. System not abandoned in accordance with Minn. R. 7080.2500? Yes No

Describe verification methods and results: Visual

Holdig tank only

Attached supporting documentation: Not applicable

4. Operating permit and nitrogen BMP* – Compliance component #4 of 5 Not applicable

- Is the system operated under an Operating Permit? Yes No If "yes", A below is required
 - Is the system required to employ a Nitrogen BMP specified in the system design? Yes No If "yes", B below is required
- BMP = Best Management Practice(s) specified in the system design*

If the answer to both questions is "no", this section does not need to be completed.

Compliance criteria:

- a. Have the operating permit requirements been met? Yes No
- b. Is the required nitrogen BMP in place and properly functioning? Yes No

Describe verification methods and results:

Attached supporting documentation: Operating permit (Attach)

11-6-000201

Property Address: 21796 442nd Place North 56431
Business Name: BT Services LLC

Date: 4-8-26

5. Soil separation – Compliance component #5 of 5

Date of installation _____ Unknown
(mm/dd/yyyy)

Shoreland/Wellhead protection/Food beverage lodging? Yes No

Attached supporting documentation:

- Soil observation logs completed for the report
- Two previous verifications of required vertical separation
- Not applicable (No soil treatment area)
- _____

Compliance criteria (select one):

5a. For systems built prior to April 1, 1996, and not located in Shoreland or Wellhead Protection Area or not serving a food, beverage or lodging establishment: Yes No

Drainfield has at least a two-foot vertical separation distance from periodically saturated soil or bedrock.

5b. Non-performance systems built April 1, 1996, or later or for non-performance systems located in Shoreland or Wellhead Protection Areas or serving a food, beverage, or lodging establishment: Yes No

Drainfield has a three-foot vertical separation distance from periodically saturated soil or bedrock.*

5c. "Experimental", "Other", or "Performance" systems built under pre-2008 Rules; Type IV or V systems built under 2008 Rules 7080.2350 or 7080.2400 (Intermediate Inspector License required ≤ 2,500 gallons per day; Advanced Inspector License required > 2,500 gallons per day) Yes No

Drainfield meets the designed vertical separation distance from periodically saturated soil or bedrock.

Holdig tank only

Indicate depths or elevations

A. Bottom of distribution media	
B. Periodically saturated soil/bedrock	
C. System separation	
D. Required compliance separation*	

*May be reduced up to 15 percent if allowed by Local Ordinance.

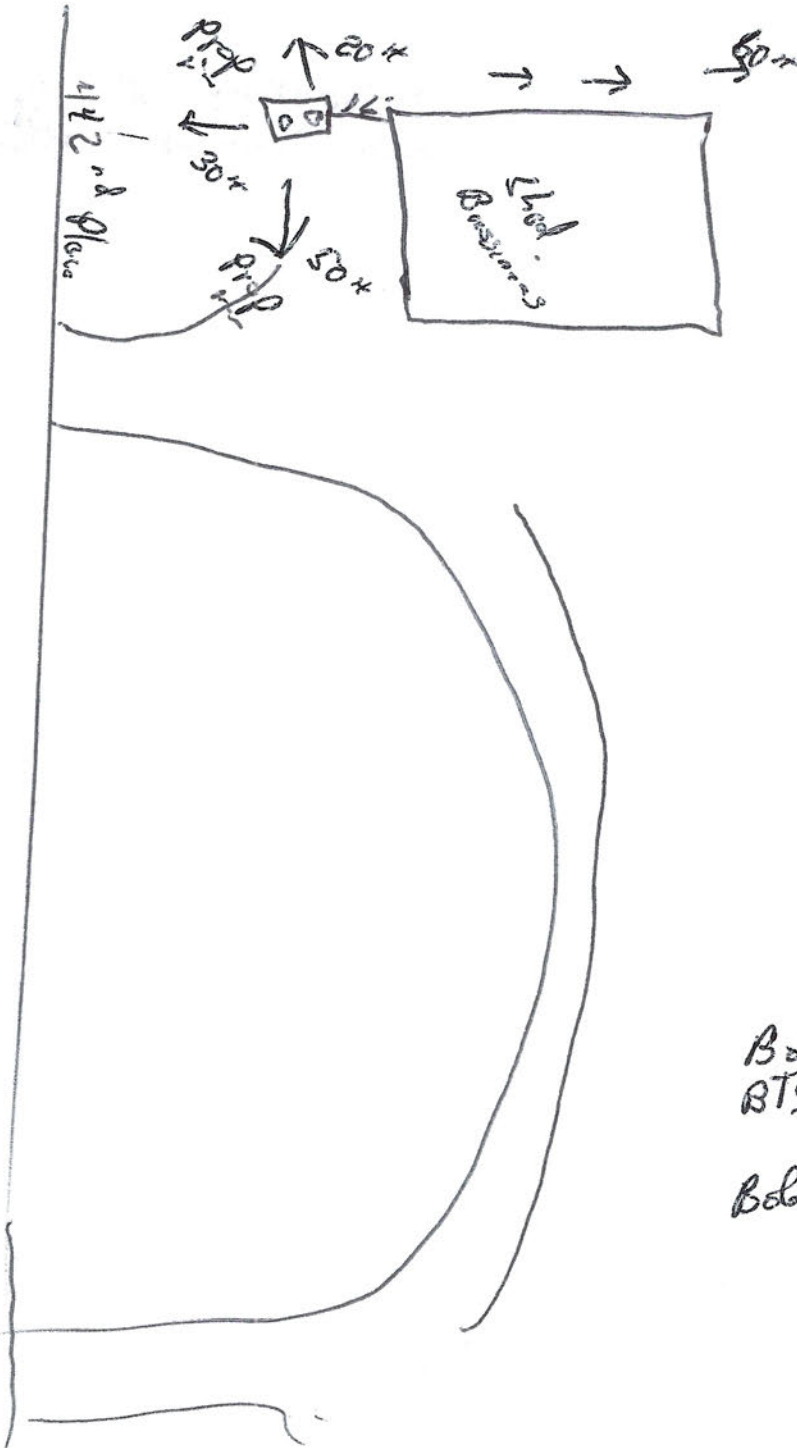
Describe verification methods and results:

*Probe drainfield for depth of Distribution material and bottom of treated level, measure field and compare with in stall cert if available
No Drain field found*

Upgrade requirements: (Minn. Stat. § 115.55) An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance. If the system is failing to protect ground water, the system must be upgraded, replaced, or its use discontinued within the time required by local ordinance. If an existing system is not failing as defined in law, and has at least two feet of design soil separation, then the system need not be upgraded, repaired, replaced, or its use discontinued, notwithstanding any local ordinance that is more strict. This provision does not apply to systems in shoreland areas, Wellhead Protection Areas, or those used in connection with food, beverage, and lodging establishments as defined in law.

11-0-000801
Mike William
21796 442nd Place
A. Henn Minnesota 56481
Part Gov Lot 1
Doc # 766439
5 44 27

N ↑
Hazleton Twp



Loise

Bob Bartel
BT Services LLC
2088
Bob Bartel 4-8-26
6/6

C3181



US HWY 169

169

CONIFER ST

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11-0-000801

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38 46.328 Degrees

POW

